

Council Assessment Panel Agenda & Reports

17 March 2025

Our Vision

*A City which values its heritage, cultural diversity,
sense of place and natural environment.*

*A progressive City which is prosperous, sustainable
and socially cohesive, with a strong community spirit.*

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City of
Norwood
Payneham
& St Peters

12 March 2025

To all Members of the Council Assessment Panel:

- Mr Stephen Smith (Presiding Member)
- Mr Julian Rutt
- Cr Christel Mex
- Mr Paul Mickan (Deputy Member)
- Mr Mark Adcock
- Mr Ross Bateup
- Cr Kester Moorhouse (Deputy Member)


NOTICE OF MEETING

I wish to advise that pursuant to Clause 1.5 of the Meeting Procedures, the next Ordinary Meeting of the Norwood Payneham & St Peters Council Assessment Panel, will be held in the Council Chambers, Norwood Town Hall, 175 The Parade, Norwood, on:

Monday 17 March 2025, commencing at 6.30pm.

Please advise Tala Aslat on 8366 4530 or email taslat@npsp.sa.gov.au if you are unable to attend this meeting or will be late.

Yours faithfully



Geoff Parsons
ASSESSMENT MANAGER

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Norwood
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VENUE Council Chambers, Norwood Town Hall

HOUR 6.30pm

PRESENT

Panel Members

Staff

APOLOGIES Cr Christel Mex

ABSENT

1. **COMMENCEMENT AND WELCOME**
2. **APOLOGIES**
3. **CONFIRMATION OF THE MINUTES OF THE MEETING OF THE COUNCIL ASSESSMENT PANEL HELD ON 17 FEBRUARY 2025.**
4. **DECLARATION OF INTERESTS**

5. DEVELOPMENT APPLICATIONS – PDI ACT

5.1 DEVELOPMENT NUMBER ID 24032150 - THREESIXFIVE STUDIO – 48 SIXTH AVENUE ST PETERS

DEVELOPMENT NO.:	24032150
APPLICANT:	ThreeSixFive Studio
ADDRESS:	48 SIXTH AV ST PETERS SA 5069
NATURE OF DEVELOPMENT:	Demolition of existing dwelling and the construction of a two-storey detached dwelling and masonry front fence
ZONING INFORMATION:	<p>Zones:</p> <ul style="list-style-type: none"> • Established Neighbourhood <p>Overlays:</p> <ul style="list-style-type: none"> • Airport Building Heights (Regulated) • Historic Area • Prescribed Wells Area • Regulated and Significant Tree • Stormwater Management • Traffic Generating Development • Urban Tree Canopy <p>Technical Numeric Variations (TNVs):</p> <ul style="list-style-type: none"> • Minimum Frontage (Minimum frontage for a detached dwelling is 18m) • Minimum Site Area (Minimum site area for a detached dwelling is 600 sqm) • Maximum Building Height (Levels) (Maximum building height is 1 level) • Site Coverage (Maximum site coverage is 50 per cent)
LODGEMENT DATE:	26 Sept 2024
RELEVANT AUTHORITY:	Assessment panel/Assessment manager at City of Norwood, Payneham & St Peters
PLANNING & DESIGN CODE VERSION:	P&D Code (in effect) Version 2024.17 12/9/2024
CATEGORY OF DEVELOPMENT:	Code Assessed - Performance Assessed
NOTIFICATION:	Yes
RECOMMENDING OFFICER:	Kieran Fairbrother, Senior Urban Planner
REFERRALS STATUTORY:	Nil
REFERRALS NON-STATUTORY:	David Brown, Heritage Advisor Matthew Cole, City Arborist

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ATTACHMENT 1:	Application Documents	ATTACHMENT 5:	Representations
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DETAILED DESCRIPTION OF PROPOSAL:

This proposal involves, in the first instance, demolition of the existing dwelling (circa 1925 bungalow) and all ancillary structures. Assuming demolition is supported, the application also seeks approval for the construction of a two-storey detached dwelling, with vehicle access obtained via Seventh Lane. Because of this, a well-landscaped front garden will exist between the dwelling and the primary street, which is proposed to be bounded by a new masonry-pillared front fence.

There is a significant fall in levels on the site from the front to the rear. The finished floor level has been proposed to match the existing dwelling, which does sit below existing footpath levels in Sixth Avenue. The FFL then steps down from the dwelling to the garage to accommodate vehicle movements from the rear lane. This means stormwater needs to be collected and discharged via a sump and pump system. Further, retaining walls up to 1m tall will be required along the side boundary shared with the Council reserve.

The swimming pool shown on the plans is indicative only and does not form part of this application.

SUBJECT LAND & LOCALITY:

Site Description:

Location reference: 48 SIXTH AV ST PETERS SA 5069

Title ref.: CT
5759/421

Plan Parcel: D796
AL597

Council: THE CITY OF NORWOOD PAYNEHAM AND
ST PETERS

Shape:	regular
Frontage Width:	22.86 metres
Area:	1039m ²
Topography:	the site has significant fall in levels towards the north rear corner, with approximately 1.5m difference in ground levels
Existing structures:	a single-storey sandstone bungalow circa 1925 and ancillary structures
Existing vegetation:	heavily landscaped around the dwelling (front and rear) accounting for >50% of the site

Locality

The locality is considered to comprise the portion of Sixth Avenue that extends approximately 100m in both directions from the subject land, and also includes a small portion of dwellings on Seventh Avenue that are within 70m of the subject land.

This chosen locality is inherently residential in nature, is contained within both an Historic Area Overlay and a Character Area Overlay, and is characterised by a mix of dwelling types – predominantly traditional detached dwellings on larger sites, although there is one pair of semi-detached dwellings on Sixth Avenue and two residential flat buildings on Seventh Avenue within 50m of the subject site. Immediately adjacent to the subject land is a Council-owned public reserve.

This locality enjoys a very high level of amenity due to the low-density built environment, a wide road reserve, and consistent, established street tree plantings along both sides of the street.

CONSENT TYPE REQUIRED:

Planning Consent

CATEGORY OF DEVELOPMENT:

- **PER ELEMENT:**
 New housing - Detached dwelling: Code Assessed - Performance Assessed
 Demolition - Demolition: Code Assessed - Performance Assessed
 Fences and walls - Fence: Code Assessed - Performance Assessed
- **OVERALL APPLICATION CATEGORY:**
 Code Assessed - Performance Assessed
- **REASON**
 P&D Code

PUBLIC NOTIFICATION

- **REASON**
 Development exceeds the TNV for the Zone of 1 building level
- **LIST OF REPRESENTATIONS**

First Name	Family Name	Address	Position	Wishes to be heard?
Karen	James	49B Sixth Ave ST PETERS	Opposed	No
David	Cardone	46 Sixth Ave ST PETERS	Opposed	Yes
Susan	Ide	45 Sixth Ave ST PETERS	Opposed	No
St Peters' Resident's Association		12 St Peters St ST PETERS	Opposed	Yes
Helen	Mercorella	42 Sixth Ave ST PETERS	Support, with concern	No

- **SUMMARY**

Representors 1 and 5 submitted a representation simply stating that they could not view the plans. It is acknowledged these representors suggested the plans were not available, however other representors managed to successfully download the documentation. The public notification system is operated and managed by Plan SA and the Council was not made aware of any system failure which would have prevented the documentation being available.

Representor 2's concerns can be summarised as followed:

- The development exceeds the DTS criteria for site coverage;
- The development exceeds the 1 level TNV;
- The development is not sympathetic to the predominant built form character in the historic area;
- The side setback provided to the southwestern side boundary is insufficient;
- The development will result in unreasonable overshadowing of their rear yard and swimming pool;
- The length of the second building level is excessive; and
- The second storey will be visible from Sixth Avenue and the Council reserve.

Representor 3 shares similar concerns to Representor 2, while also raising concerns of overlooking from the second storey. Representor 4 also shares similar concerns and adds that the large footprint leaves little room for meaningful landscaping that is likely to properly establish. Finally, Representor 4 submits that a swimming pool is not appropriate in a flood-susceptible area such as this (although this is not proposed as part of this application).

INTERNAL REFERRALS

- David Brown, Heritage Advisor

Council's Heritage Advisor is supportive of the demolition of the existing dwelling. They do, however, have concerns with the width of the building and the resultant side setbacks from a streetscape perspective, as well as the height and visibility of the second building level.

The Heritage Advisor did have concerns regarding the roof profile and the lack of a front verandah treatment. The applicant has amended the design to address the concern regarding the roof material profile and colour, but the concern regarding the lack of a real front verandah treatment remains.

- Matthew Cole, City Arborist

This application was referred to Council's Arborist for advice on whether the development is likely to have an adverse effect on any of the Council-owned trees in the adjacent reserve and on Sixth Avenue. Council's Arborist has no concerns with the proposal in this respect.

PLANNING ASSESSMENT

The application has been assessed against the relevant provisions of the Planning & Design Code, which are contained in Appendix One.

Demolition

In the first instance, this application seeks to demolish the existing sandstone bungalow that is on the site.

Performance Outcome 7.3 of the Historic Area Overlay states:

Buildings or elements of buildings that do not conform with the values described in the Historic Area Statement may be demolished.

In terms of "eras, themes and context", the Historic Area Statement states: "*between the late 1870s and 1900, between the 1900s and the 1920s, and inter-war*". The subject dwelling proposed for demolition was constructed circa 1925 and therefore accords with the inter-war era expressed in the Historic Area Statement.

In terms of "architectural styles", however, the Historic Area Statement does not reference bungalows as being a key historic architectural style in the St Peters part of this historic area. Rather, the Statement references "*late Victorian Italianate villas... double fronted symmetrical and asymmetrical dwellings [that] are an elegant, larger version of the simple colonial cottage with the addition of a projecting wing... and some Edwardian style housing (such as Queen Anne and Art Nouveau styles)*". Inter-war bungalows are referenced as being important to the historic character of the Joslin portion of this historic area, but not St Peters.

Accordingly, the building does not conform with the values described in the Historic Area Statement and demolition is warranted by satisfaction of Performance Outcome 7.3, above. Council's Heritage Advisor agrees with this assessment.

Building Height

Performance Outcome 4.1 of the Established Neighbourhood Zone states:

Buildings contribute to the prevailing character of the neighbourhood and complements the height of nearby buildings.

The corresponding Designated Performance Feature contains a TNV that states that the maximum building height should be one (1) level.

Performance Outcome 1.1 of the Historic Area Overlay states:

All development is undertaken having consideration to the historic streetscapes and built form as expressed in the Historic Area Statement.

With respect to building heights, the Historic Area Statement states “predominantly single storey, up to two storeys in some locations”. No guidance is provided as to where within the historic area two storey development might be envisaged, because the same 1 level TNV applies to the whole of this Historic Area Overlay.

Performance Outcome 2.1 of the Historic Area Overlay states:

The form and scale of new buildings and structures that are visible from the public realm are consistent with the prevailing historic characteristics of the historic area.

Performance Outcome 2.2 of the Historic Area Overlay states:

Development is consistent with the prevailing building and wall heights in the historic area.

The prevailing building height throughout this historic area is one of single-storey dwellings. There are some exceptions to this where two storey development is present. Most notably in the context of this assessment, there are two storey dwellings at 41, 43, 49, 49A and 49B Sixth Avenue, which are all within 75m of the subject site and within the determined locality. The latter three dwellings are all outwardly two storeys.

Performance Outcome 4.1 of the Zone seeks two outcomes: contribution to the prevailing character of the neighbourhood, and the complementation of the height of nearby buildings. The term ‘neighbourhood’ is not defined in the Planning & Design Code, but it was considered by the ERD Court to perhaps constitute an area larger than a locality.¹ In that case, as with this one, the character of the locality and what might constitute the larger neighbourhood is essentially the same such that both terms can be considered interchangeably.

As mentioned above, the Historic Area Statement provides no guidance as to where the “some locations” in which two storeys might be envisaged are. Nonetheless, it is noteworthy that on the opposite side of Seventh Lane, there is a Character Area Overlay which envisages two-storey development by way of a two-level TNV (see **Attachment 3**). One might therefore contextually interpret the Historic Area Statement as suggesting that this is an area where two storey development might be acceptable – being on the boundary of a different Overlay that contemplates such building heights.

Performance Outcome 4.1 of the Zone contemplates an analysis of the locality/neighbourhood, which would include the neighbouring Character Area Overlay with an applicable TNV of 2 levels; whereas, conversely, Performance Outcome 1.1 and 2.2 of the Historic Area Overlay contemplate an assessment that only considers the relevant Overlay. As pointed out by Commissioner Dyer in *Parkins*², ‘it is a fundamental tenant of planning assessment that policy is applied having regard [to] the specific circumstances of each case’. In this case, the subject land abuts a section of the Established Neighbourhood Zone where a 2 level TNV applies, which cannot be ignored.

Consequently, the proposal for a two-storey dwelling on this site is not, in principle, considered to be at odds with Performance Outcome 4.1 of the Zone. It is, however, arguably in conflict with Performance Outcome 2.2 of the Historic Area Overlay because it is inconsistent with the *prevailing* single-storey building heights in the historic area.

The word ‘character’ in Performance Outcome 4.1 of the Zone is considered to refer to the streetscape impact of the development. Both the subject Historic Area Overlay and the abutting Character Area Overlay seek for new development to maintain a single-storey appearance to the primary street frontage. Thus, the ‘character’

¹ *Minicozzi (Osmond Terrace) Pty Ltd v The City of Norwood Payneham & St Peters Assessment Panel* [2024] SAERDC 18 at [9]-[19].

² *Parkins v Adelaide Hills Council Assessment Manager* [2022] SAERDC 12 at [96].

to which this Performance Outcome seeks for buildings to contribute is a locality where streetscapes are characterised by single-storey development.

With respect to the proposed development, the second level is set back 10.5 metres behind the building line of the dwelling. The street-facing ground level portion of the dwelling has 3.6 metre wall heights and a hipped roof with an acceptable 30° pitch which together aid in obscuring views of the second level from the primary street. Moreover, the second building level is proposed to be clad in metal cladding in the same colour as the roof sheeting proposed over the single-storey portion of the dwelling, thus making it more visually recessive in the streetscape.

Consequently, the second building level herein proposed is not considered to be at odds with Performance Outcome 4.1 of the Established Neighbourhood Zone. It is at odds with Performance Outcome 2.2 of the Historic Area Overlay but the immediate context (of other two-storey buildings nearby and the adjacent Character Area Overlay with a 2 level TNV) provides justification for the failure to satisfy this provision.

With respect to Performance 2.1 of the Historic Area Overlay, although the second building level will be visible from the adjacent public reserve (i.e. the public realm), and this is contrary to the prevailing form and scale of traditional buildings in the historic area, this reserve is also on the fringe of the boundary between an historic area that seeks predominantly single-storey development and a character area that envisages two-storey development to the rear of buildings. Accordingly, the public can expect to see views of two-storey development on the opposite side Seventh Avenue. The delineation between the two Overlays is intangible and not something that a layperson visiting this reserve might understand. Accordingly, in this context, views from the reserve onto a two-storey building on Sixth Avenue is not considered fatal to the proposal.

Heritage, Design & Appearance

Performance Outcome 1.1 of the Historic Area Overlay states:

All development is undertaken having consideration to the historic streetscapes and built form as expressed in the Historic Area Statement.

Performance Outcome 2.1 of the Historic Area Overlay states:

The form and scale of new buildings and structures that are visible from the public realm are consistent with the prevailing historic characteristics of the historic area.

Performance Outcome 2.3 of the Historic Area Overlay states:

Design and architectural detailing of street-facing buildings (included but not limited to roof pitch and form, openings, chimneys and verandahs) complement the prevailing characteristics in the historic area.

As previously mentioned, the Historic Area Statement references “*late Victorian Italianate villas... double fronted symmetrical and asymmetrical dwellings [that] are an elegant, larger version of the simple colonial cottage with the addition of a projecting wing... and some Edwardian style housing (such as Queen Anne and Art Nouveau styles)*”. Accordingly, any new dwellings should make reference to one of these architectural styles in their design, but without being a derivative reproduction.

To this end, the proposed dwelling predominantly takes cues from a traditional double-fronted cottage, but with an annex to the side that is further setback than the main face. The dwelling employs a simple hipped roof form above 3.6m tall external walls, akin to traditional cottages, which is consistent with the abovementioned Performance Outcomes.

All architectural styles listed in the Historic Area Statement traditionally include some form of front verandah treatment. No real front verandah has been included in this proposal, however. Instead, a projecting steel canopy is proposed along the façade of the dwelling, which extends 2.2m forward of the building line. The dwelling roof extends 1.75m forward of the building line also, thereby reducing the ‘verandah look’ that the steel canopy is intending to portray (because it only extends approximately 450mm further than the roof). In this respect, the dwelling partially fails to satisfy Performance Outcome 2.3.

With respect to the overall form of the street-facing portion of the dwelling, Council's Heritage Advisor is not supportive of the annexed section to the right of the main face because the result is a dwelling that is "wider than any other house in the area, making it visually dominant". While this is true, the overall width is not dissimilar to other dwellings further south on Sixth Avenue if you include the garage/carport associated with those dwellings. In form, the annexed section of the dwelling herein proposed is similar to the form one might expect of an attached carport or garage with lower wall heights (2.6m vs 3.6m), a lower roof line and an increased setback from the building line of the dwelling. In this context, the dwelling design is considered to sufficiently satisfy the abovementioned Performance Outcomes.

The second building level, that is visible from the adjacent public reserve, employs a rectilinear form that is inconsistent with the prevailing historic characteristics of the historic area; thereby failing to satisfy Performance Outcome 2.1 (above). However, the dwelling fails to satisfy this Performance Outcome only in respect of the second building level, and not for the ground level that is visible to Sixth Avenue, and only does so because the site is adjacent a public reserve. If the site was bounded by two other dwellings sites, then views of the second level would only be visible from the rear laneway, which has little amenity and is not considered a 'streetscape' worth of any enhancement. Consequently, little weight is given to the proposal's failure to wholly comply with Performance Outcome 2.1 of the Historic Area Overlay, and this failure is not considered fatal to the proposal.

Performance Outcome 2.5 of the Historic Area Overlay states:

Materials are either consistent with or complement those within the historic area.

The street-facing main elevation of the dwelling is comprised of stone piers that surround two large windows and a timber entry door. A steel canopy extends across the façade underneath a simple hipped roof constructed of corrugated Colorbond sheeting in Woodland Grey colour. These materials and colours are consistent with the traditional materials and colours used within the historic area, thereby satisfying this Performance Outcome.

The second building level conversely employs a rectilinear design clad constructed of Colorbond 'Maxline' cladding in Woodland Grey colour to all sides. This is not consistent with traditional materials in the historic area, but it is complementary. To the same extent that support has been given for similarly-designed additions to existing historic dwellings (because they help to delineate 'old from new'), the use of these materials and colours on a whole new dwelling do not derogate from the proposal's ability to comply with Performance Outcome 2.5 above.

Performance Outcome 4.4 of the Historic Area Overlay states:

Fencing and gates closer to a street boundary (other than a laneway) than the elevation of the associated building are consistent with the traditional period, style and form of the associated building.

The front fence proposed is a contemporary take on a traditional masonry-pillared front fence. The fence is 1.5m tall and has base walls equivalent to one-third of the height of the pillars, which is consistent with the proportions used in traditional masonry-pillared fences. The applicant has not provided details of the spacing between the metal infill battens between the pillars and so a Reserved Matter has been recommended for this detail to be provided. The proposed fence complements the double-fronted cottage look that the proposed dwelling seeks to emulate and will equally complement the streetscape, consistent with this Performance Outcome.

Setbacks, Visual Impact, Overshadowing & Overlooking

Performance Outcome 5.1 of the Established Neighbourhood states:

Buildings are set back from primary street boundaries consistent with the existing streetscape.

Both sides of Sixth Avenue have a consistent setback pattern. The adjacent dwelling at 46 Sixth Avenue has a front setback consistent with this established pattern and therefore forms the best reference point for the development herein proposed.

To that end, 46 Sixth Avenue has a front setback of approximately 7.3 metres to the building line and approximately 5.5 metres to the front verandah. The proposed dwelling has a front setback of 7.9 metres to the building line and 5.6 metres to the projecting canopy, which accords with Performance Outcome 5.1 above. This places the dwelling slightly behind the adjacent Representative Building at 46 Sixth Avenue, which is a good outcome that gives the historic dwelling slightly more prominence in the streetscape over the proposed dwelling.

Performance Outcome 8.1 of the Established Neighbourhood Zone states:

Buildings are set back from side boundaries to provide:

- (a) Separation between buildings in a way that complements the established character of the locality*
- (b) Access to natural light and ventilation for neighbours.*

The corresponding Designated Performance Outcome prescribes a quantitative method for determining side setbacks based on the height of the wall. No minimum side setback TNV is suggested in the DPF, which indicates boundary development may be acceptable.

Performance Outcome 20.3 of the Design in Urban Areas module of the general development policies states:

The visual mass of larger buildings is reduced when viewed from adjoining allotments or public streets.

At ground level, the proposed dwelling is set back between 0.9m and 1.27m from the southwest side boundary and 1.43m from the northeast side boundary at the front, increasing to 9.17m centrally. At the upper level, the dwelling is set back 2.9m from the southwest side boundary and between 9.2m and 14.4m from the northeast side boundary.

The setbacks to the northeast side boundary – the boundary shared with the public reserve – provide adequate separation to the building to complement the amenity of that reserve and the character of the locality. Further, the substantial setback provided to the second level reduces the visual mass of the building as viewed from the reserve.

With respect to the setback provided to the southwest side boundary, the affected neighbour has raised concerns about the impact this will have on their amenity and enjoyment of their dwelling and private open space. In their representation, this representor has relied on the quantitative criteria for a south-facing wall set out in DPF 8.1(b) when suggesting what an appropriate setback might be. The Panel should note that this wall is not a south-facing wall by definition³, because the allotment boundary is not orientated between E30°S/W30°N. The alignment of the shared boundary is approximately W34.5°N.

Although a DPF is not the only way by which a Performance Outcome may be satisfied, it is worth noting that the quantitative criteria set out in DPF 8.1 of the Zone suggests the following setbacks:

- For the ground level portion of the dwelling (3.6m tall walls) – 1.1m;
- For the upper level (excluding the small portion at the rear that extends over the part of the site where ground levels are lowered for the garage) (7.1m tall walls) – 2.27m.

Thus, when assessed against the DPF criteria, the proposed building achieves the minimum setback criteria at the upper level, with a slight shortfall of 190mm for approximately two-thirds of the ground level.

The administration has reviewed the approved plans for the recent addition undertaken at 46 Sixth Avenue (and a snippet of the floor plan and side elevation will be provided to the Panel members under separate cover for their own review). The neighbouring dwelling has no habitable windows that have a *direct* outlook onto the proposed dwelling, but there are one small bathroom window and a high-level window (2.5m sill height) for a lounge room. As such, the impacts of the proposed additions on the neighbouring property are considered to be limited to the direct visual outlook from the neighbour's private open space, oblique views from within the rear living areas of the dwelling, and any potential overshadowing of private open space (which are discussed below).

³ See *Part 8 – Administrative Terms and Definitions* of the Planning & Design Code for the full definition.

Both building levels of the proposed dwelling will be visible for occupants of 46 Sixth Avenue from the swimming pool, the open-to-air portion of the rear yard, the northern portion of the rear verandah and, partially and obliquely, from within the rear internal living areas. However, these views are not considered to be unreasonable. For the reasons earlier expressed, it is considered reasonable for a two-level dwelling to be constructed on this allotment. Approximately half of the length of the second building level aligns with the carport and dwelling walls of 46 Sixth Avenue; it is the second half which extends to, and will mostly be visible from, those aforementioned areas.

The 2.9m side setback proposed to the upper level is considered sufficient to mitigate any impacts by way of visual outlook and creates separation between buildings in a manner that does not *unreasonably* affect the neighbour's access to light and ventilation (discussed further in a later section of this report).

The slight shortfall in ground level setback (when assessed against the DPF criteria) is considered acceptable because these two walls are located adjacent the neighbour's carport and a recent addition which contains only one high level window. Accordingly, there will be no direct views onto the ground level portion of the dwelling and thus the slightly reduced setback creates no additional impact.

Accordingly, the proposal is considered to satisfy Performance Outcome 8.1 of the Zone and Performance Outcome 20.3 of the Design in Urban Areas module.

Performance Outcome 2.4 of the Historic Area Overlay states:

Development is consistent with the prevailing front and side boundary setback pattern in the historic area.

Council's Heritage Advisor has expressed his non-support for the width of the proposed dwelling and its consequent impact on the streetscape by way of reduced side setbacks. Within the Sixth Avenue streetscape there is a variation inside setbacks provided to dwellings. For example, some of the historic dwellings like the six dwellings to the southwest of the subject land have large setbacks to both side boundaries (ignoring the carport constructed immediately next door), reflecting the traditional way in which these allotments were developed. By way of contrast, there are other dwellings on the opposite side of the road that have minimal setbacks to both side boundaries. This theme is continued through Fifth Avenue also, which is located in the same Historic Area Overlay.

In the context of the broader locality, the proposed side setbacks are not considered to be wholly inconsistent with the prevailing setback pattern. In the context of the Sixth Avenue streetscape, the proposed side setbacks will not negatively affect the streetscape and are therefore considered acceptable.

Performance Outcome 9.1 of the Established Neighbourhood Zone states:

Buildings are set back from rear boundaries to provide:

- (a) Separation between dwellings in a way that complements the established character of the locality*
- (b) Access to natural light and ventilation for neighbours*
- (c) Private open space*
- (d) Space for landscaping and vegetation.*

The garage is setback 950mm from the rear lane whereas the upper level is set back 7.6m. For reasons discussed in the later sections of this report, the minimal rear setback does not preclude the development's ability to provide for sufficient private open space and landscaping. The rear setback to the garage is consistent with the typical setback pattern along the laneways in St Peters and the upper-level setback does not unreasonably impact access to natural light or ventilation for neighbours. Consequently, this Performance Outcome is satisfied.

Performance Outcome 10.1 of the Design in Urban Areas module of the general development policies states:

Development mitigates direct overlooking from upper-level windows to habitable rooms and private open spaces of adjoining residential uses in neighbourhood-type zones.

The corresponding Designated Performance Feature suggests that obscuring upper-level windows to a height of 1.5 metres above the internal finished floor level is one way of potentially satisfying this Performance Outcome. The Applicant has proposed obscure glazing to a height of 1.5 metres for all upper-level windows on the south-west elevation, which satisfies this Performance Outcome. Condition No. 3 has been recommended to reinforce the ongoing need for this privacy treatment.

The only other upper-level windows are on the north-east elevation which face the public reserve and are at least 20 metres away from the private open space of any dwelling on Seventh Avenue. Accordingly, these windows do not need to be obscured because they do not provide any opportunities for 'direct overlooking' as defined in the Planning & Design Code. For the same reasons, the balcony that faces the public reserve does not need to be obscured in any way.

Performance Outcome 3.2 of the Interface Between Land Uses module of the general development policies states:

Overshadowing of the primary area of private open space or communal open space of adjacent residential land uses in... a neighbourhood type zone is minimised to maintain access to direct winter sunlight.

The corresponding Designated Performance Feature suggests that this Performance Outcome may be satisfied if at least 35m² of the private open space associated with the neighbouring dwelling receives at least 2 hours of sunlight between 9am and 3pm on the winter solstice. This seems to set a very low bar considering this would comprise only approximately 10% of the neighbour's private open space, and therefore is not considered a satisfactory means for satisfying the Performance Outcome.

The shadow diagrams provided by the applicant demonstrate that the private open space associated with the neighbouring dwelling would be shadowed the most in the morning of the winter solstice, but most of this area is free from shadow by midday. Despite the concerns of this affected neighbour (Representor 2), this is considered reasonable and satisfies Performance Outcome 3.2 above.

Performance Outcome 3.3 of the Interface Between Land Uses module of the general development policies states:

Development does not unduly reduce the generating capacity of adjacent rooftop solar energy facilities taking into account:

- (a) The form of development contemplated in the zone*
- (b) The orientation of the solar energy facilities*
- (c) The extent to which the solar energy facilities are already overshadowed.*

The adjacent dwelling at 46 Sixth Avenue has solar panels on the roof of their flat roof rear addition that will be impacted by the proposed development, as demonstrated by the shadow diagrams provided by the applicant (**Attachment 1**). These panels will be mostly shadowed during the morning period of the winter solstice, where one might expect the panels to have their lowest generating capacity because of the typically lower levels of sunlight. By the early afternoon of the winter solstice, however, the development does not provide any shadowing of these solar panels due to the northwest-southeast orientation of the two allotments. By inference, these solar panels will be largely unaffected by this development during summer, spring and autumn, when they have a larger generating capacity, because of the sun's higher angle in the sky. Accordingly, the development is considered to sufficiently accord with Performance Outcome 3.3 above.

Soft Landscaping & Private Open Space

Performance Outcome 22.1 of the Design in Urban Areas module of the general development policies states:

Soft landscaping is incorporated into development to:

- (a) Minimise heat absorption and reflection*
- (b) Contribute shade and shelter*
- (c) Provide for stormwater infiltration and biodiversity*
- (d) Enhance the appearance of land and streetscapes.*

The corresponding Designated Performance Feature suggests that sites over 450m² in area should be minimum 25% comprised of soft landscaping.

Performance Outcome 6.2 of the Historic Area Overlay states:

Development maintains the valued landscape patterns and characteristics that contribute to the historic area...

Performance Outcome 1.1 of the Historic Area Overlay states:

All development is undertaken having consideration to the historic streetscapes and built form as expressed in the Historic Area Statement.

With respect to landscaping, the Historic Area Statement states that “*landscaping around a dwelling, particularly in the front garden, is an important design element*”, while referencing the consistent, mature street tree plantings and a desire to obtain vehicle access from the rear lanes.

This application proposes 230m² of soft landscaping, which equates to 22.1% of the site. Although not proposed as part of this application, the plans show provision for a future swimming pool. If this swimming pool was not shown on the plans, and this area was instead landscaped, the total soft landscaping on the site would exceed the 25% expected by the DPF. In such an event, if a future application was then submitted for a swimming pool which lowered the total soft landscaping to 22% of the site, consent would not be unreasonably withheld on the account of a slight shortfall of soft landscaping when assessed against a DPF.

The site contains several small ‘pockets’ of soft landscaping around the dwelling, particularly on the western side, but otherwise includes larger lawned areas in which meaningful plantings can take place – particularly between the dwelling and the primary street. The landscaped areas proposed provide opportunity for stormwater infiltration and heat absorption as sought by Performance Outcome 22.1 (above). Similarly, the large lawned area next to the alfresco provides opportunities for plantings that will contribute to shade, and the large landscaped area in the front garden allows for landscaping that can enhance the streetscape, consistent with Performance Outcomes 1.1 and 6.2 of the Historic Area Overlay.

Condition No. 5 reflects the applicant's requirement to plant trees in accordance with the Urban Tree Canopy Overlay, as mandated by Practice Direction 12. Soil areas large enough to accord with the minimum requirements set out in DPF 1.1 of this Overlay have been provided on-site meaning the condition can be adhered to.

Performance Outcome 21.1 of the Design in Urban Areas module of the general development policies states:

Dwellings are provided with suitable sized areas of usable private open space to meet the needs of occupants.

Performance Outcome 21.2 of the Design in Urban Areas module of the general development policies states:

Private open space is positioned to provide convenient access from internal living areas.

At ground level, 281m² of private open space is provided for the site. The upper-level balcony provides an additional 14m² of private open space. Together, both areas provide sufficient private open space to meet the needs of the occupants per Performance Outcome 21.1 and are positioned to provide convenient access from internal living areas per Performance Outcome 21.2.

Performance Outcome 3.1 of the Established Neighbourhood Zone states:

Building footprints are consistent with the character and pattern of the neighbourhood and provide sufficient space around buildings to limit visual impact, provide an attractive outlook and access to light and ventilation.

The corresponding Designated Performance Feature states that site coverage should not exceed 50%. The site coverage proposed is 53.7%

By virtue of the fact that sufficient soft landscaping and private open space has been provided for the dwelling, and the setbacks to all boundaries are considered appropriate, the proposal is considered to accord with Performance Outcome 3.1 above.

Access and Parking

Performance Outcome 5.1 of the Transport, Access and Parking module of the general development policies states:

Sufficient on-site vehicle parking...[is] provided to meet the needs of the development...

The corresponding Designated Performance Feature suggests that a provision of car parking spaces equivalent to those listed in Table 1 of the module is sufficient to satisfy the Performance Outcome. This is the generally accepted practice in respect of dwellings.

To that end, Table 1 suggests that this dwelling should provide two (2) off-street car parking spaces, of which at least one (1) should be covered. The application provides for at least two car parking spaces in the way of the proposed four-car garage.

Performance Outcome 23.5 of the Design in Urban Areas module of the general development policies states:

Driveways are designed to enable safe and convenient vehicle movements from the public road to on-site parking spaces.

Access for this site is proposed to be obtained from Seventh Lane, which is the preferred method of access in this historic area. The four-car garage is setback 950mm from the rear boundary. Seventh Lane is approximately 4.6 metres wide, but existing encroachments narrow the effective laneway width to approximately 4.1 metres where it abuts this site. Thus, the apron width (the distance between the garage and the wall on the opposite side of the laneway) is approximately 5.05 metres. Each of the garage openings are 5.51 metres wide, to provide additional room for vehicle manoeuvres.

The applicant has provided swept path movement diagrams for a B85 vehicle which suggest that vehicles are able to enter and exit each parking spot in no more than a three-point turn manoeuvre. However, these movements rely on: no vehicle larger than a B85 vehicle being parking in the garage, any other vehicle in the garage being parked against the rear wall of the garage, and very precise turning movements. This is arguably unrealistic and shouldn't be given too much weight.

Notwithstanding, per Performance Outcome 5.1 above, the dwelling only needs to provide for two (2) on-site vehicle parking spaces. Each garage door could be used for access of just one vehicle, which meets the needs of the development when assessed against this Performance Outcome. Consequently, if the garage is considered as needing to store only two vehicles, then Performance Outcome 23.5 of the Design in Urban Areas module is also satisfied.

Siteworks, Retaining and Stormwater

Performance Outcome 8.1 of the Design in Urban Areas module of the general development policies states:

Development... minimises the need for earthworks to limit disturbance to natural topography.

The existing dwelling on the site has an FFL of 99.21 (local datum), which places it between 140mm and 500mm below the adjacent water table levels in Sixth Avenue. Existing ground levels on the site range from 99.41 at the front property boundary, to 98.64 where the rear verandah steps down from the house, and falling gradually to 97.69 in the rear northern corner of the site. Hence, from front to rear there is a fall in the land of approximately 1.72m.

This proposal originally sought to construct the dwelling with an FFL of 98.65, which would position it more than a metre below the highest water table level in Sixth Avenue. Following discussions with Council administration, the applicant amended this, and the FFL is now proposed at 99.19 – essentially matching that of the existing dwelling. The current dwelling is not subject to flooding according to Council's existing mapping and so by matching the existing FFL this can be assured for the future dwelling. This FFL also maintains a consistency in the streetscape.

However, this does result in the need for retaining walls up to 1.02m high on the northeast side boundary – albeit most of the retaining along this boundary is 0.54m or lower. The garage is proposed to be stepped down

from the dwelling, as is the rear yard area around the garage, to 98.00 (local datum). This design level allows vehicle access to the site from the rear lane.

The finished floor level of the dwelling will be approximately 500mm higher than the finished floor level of the neighbouring dwelling addition, which will likely result in the need for some low retaining walls despite not being shown on the plans. The impact of the additional retaining is not considered unreasonable because of the affected neighbour's lack of a direct outlook onto this section of the proposed dwelling from within their dwelling.

Therefore, while the proposed levels result in the need for a decent amount of fill and some retaining walls, this is not considered to be completely at odds with the abovementioned Performance Outcome because the fill is required to accommodate a dwelling that maintains a consistent level throughout and which can enjoy private open space adjacent to, and level with, its internal living areas.

As a result of these finished levels, stormwater cannot be gravity fed to the street water table. Seventh Lane does contain a spoon drain in its centre, but this is intended to service existing drainage infrastructure and surface flows from Seventh Lane and is not designed and constructed to accommodate additional flows. Thus, per Council's standard expectations, stormwater for this development must be collected and discharged to the Sixth Avenue Street water table. To facilitate this, the applicant's engineer has proposed a sump and pump system that will pump water out to Sixth Avenue, which is a reasonable solution.

Question of Seriously at Variance

Having considered the proposal against the relevant provisions of the Planning & Design Code (version 2024.17, dated 12/09/2024), the proposal is not considered to be seriously at variance with the provisions of the Planning & Design Code for the following reasons:

- Dwellings are envisaged within the Established Neighbourhood Zone;
- The height of the proposed development exceeds the 1 level TNV for this Zone, but is not seriously at odds with the prevailing and anticipated building heights in the locality/neighbourhood;
- The dwelling design emulates that of a traditional double-fronted symmetrical cottage, and is not seriously at odds with the outcomes sought by the Historic Area Overlay; and
- The proposed site coverage and soft landscaping are reasonable.

CONCLUSION

This proposal seeks to demolish the existing dwelling and ancillary structures on the land and construct a new two-storey dwelling and masonry front fence, together with associated earthworks and retaining walls.

The demolition of the existing dwelling is supported by the Planning & Design Code because the current dwelling fails to contribute to the historic character of this part of Historic Area Overlay as described in the Historic Area Statement.

Despite being located within a portion of the Established Neighbourhood Zone which has a 1 level TNV for building height, the two-storey proposal is considered to be acceptable because the subject land is on the periphery of this 1 level TNV and abuts a part of the Established Neighbourhood Zone that contemplates two-storey development to the rear of buildings with a 2 level TNV. There are other examples of two-storey development within the immediate locality also, which further justifies a two-storey development on this land. Importantly, the second building level will not be readily visible from Sixth Avenue and so the prevailing single-storey character of this particular historic area will not be jeopardised.

The dwelling has been designed to be a contemporary take on a double-fronted cottage, but with a lower-roofed annexed wing set slightly further back from the main façade. The materials and colours reflect those used on the traditional dwellings in the area and the simple hipped roof is an appropriate contextual response for this design. The dwelling does, however, lack a real front verandah treatment which is regretful but not considered to be fatal to the design. The front fence adopts traditional pillar-to-plinth proportions and will complement the proposed dwelling in this historic avenue.

The setbacks provided at both ground and upper levels of the building are sufficient to maintain separation between buildings in a manner consistent with the desired streetscape outcome, as well as mitigating visual impacts and overshadowing to the neighbouring dwelling. This dwelling will encounter some shadowing of their solar panels and private open space during the winter solstice, but not to an unreasonable extent that would render the proposal unable to be supported. The siting of the proposed building has considered the neighbouring dwelling in a way that mitigates the extent of visual outlook onto the proposed development, which is a good outcome. All upper-level windows that face the southwest boundary will be required to be adequately obscured to maintain the privacy of the adjacent neighbour.

The proposed site coverage is acceptable because sufficient soft landscaping and private open space is provided for the dwelling. Adequate on-site car parking facilities are provided to the dwelling, and access being obtained from the rear lane is a good outcome consistent with the desire to minimise crossovers along the historic Sixth Avenue streetscape.

Finally, significant fill and earthworks are required to achieve a level plane along which the dwelling and private open space can be constructed. Despite the extent of retaining that is required (up to 1m on the northeast side boundary), this is considered reasonable in the circumstances. To lower the floor level even further – to minimise the extent of earthworks and retaining – would result in a dwelling that sits too far lower than the water table level in the street and would be an inappropriate streetscape outcome. Appropriately, the garage is stepped down from the dwelling so vehicle movements from Seventh Lane can be accommodated.

RECOMMENDATION

It is recommended that the Council Assessment Panel resolve that:

1. The proposed development is not seriously at variance with the relevant Desired Outcomes and Performance Outcomes of the Planning and Design Code pursuant to section 107(2)(c) of the *Planning, Development and Infrastructure Act 2016*.
2. Development Application Number 24032150, by ThreeSixFive Studio is granted Planning Consent subject to the following conditions and reserved matter(s):

RESERVED MATTER RESERVED MATTER 1

Details of the metal infill proposed for the front fence, including batten dimensions and spacing between battens, shall be provided to the reasonable satisfaction of the Assessment Manager.

NOTE: Further conditions may be imposed on the Planning Consent in respect of the above matters.

Pursuant to Section 127(1) of the *Planning, Development and Infrastructure Act 2016*, the power to impose further conditions of consent in respect of the reserved matter(s) above is delegated to the Assessment Manager.

CONDITIONS PLANNING CONSENT

Condition 1

The development granted Planning Consent shall be undertaken and completed in accordance with the stamped plans and documentation, except where varied by conditions below (if any).

Condition 2

All stormwater from buildings and hard-surfaced areas shall be collected and disposed of in accordance with the Drainage Plan (prepared by ANZAS & Associates Pty Ltd, Ref: ZS/7155, Dated 20/02/25) and accompanying Stormwater Calculations herein approved. In no instance is stormwater permitted to be discharged into Seventh Lane or the adjacent Council reserve.

Condition 3

All upper floor windows on the South-West Elevation shall either have sill heights of a minimum of 1500mm above floor level or be treated to a minimum height of 1500mm above floor level, prior to occupation of the building, in a manner that restricts views being obtained by a person within the room to the reasonable satisfaction of the Assessment Manager and such treatment shall be maintained at all times.

Condition 4

The approved development must include minimum rainwater tank storage which is:

1. connected to at least 60% of the roof area;
2. connected to one toilet and either the laundry cold water outlets or hot water service;
3. with a minimum retention capacity of 4000 litres;
4. if the site perviousness is less than 35%, with a minimum detention capacity of 1000 litres; and
5. where detention is required, includes a 20-25 mm diameter slow-release orifice at the bottom of the detention component of the tank

within 12 months of occupation of the dwelling(s).

Condition 5

Tree(s) must be planted and/or retained in accordance with DTS/DPF 1.1 of the Urban Tree Canopy Overlay in the Planning and Design Code (as at the date of lodgement of the application). New trees must be planted within 12 months of occupation of the dwelling(s) and maintained.

Condition 6

All areas nominated as landscaping or garden areas on the approved plans shall be planted with a suitable mix and density of trees, shrubs and groundcovers within the next available planting season after the occupation of the premises to the reasonable satisfaction of the Assessment Manager and such plants, as well as any existing plants which are shown to be retained, shall be nurtured and maintained in good health and condition at all times, with any diseased or dying plants being replaced, to the reasonable satisfaction of the Assessment Manager or its delegate.

Condition 7

The retaining walls indicated on the approved plans are to be constructed prior to the commencement of the construction of the dwelling(s) to ensure that the land is suitably stabilised to prevent slip and pollution through soil erosion.

Condition 8

Any change in gradient required to accommodate vehicle access to the garage shall be accommodated entirely within the property boundaries. No changes to levels in Seventh Lane are permitted.

ADVISORY NOTES

Planning Consent

Advisory Note 1

The Applicant is reminded of its responsibilities under the *Environment Protection Act 1993*, to not harm the environment. Specifically, paint, plaster, concrete, brick wastes and wash waters should not be discharged into the stormwater system, litter should be appropriately stored on site pending removal, excavation and site disturbance should be limited, entry/exit points to the site should be managed to prevent soil being carried off site by vehicles, sediment barriers should be used (particularly on sloping sites), and material stockpiles should all be placed on site and not on the footpath or public roads or reserves. Further information is available by contacting the EPA.

Advisory Note 2

The granting of this consent does not remove the need for the beneficiary to obtain all other consents which may be required by any other legislation.

The Applicant's attention is particularly drawn to the requirements of the *Fences Act 1975* regarding notification of any neighbours affected by new boundary development or boundary fencing. Further information is available in the 'Fences and the Law' booklet available through the Legal Services Commission.

Advisory Note 3

The Applicant is advised that construction noise is not allowed:

1. on any Sunday or public holiday; or
2. after 7pm or before 7am on any other day

Advisory Note 4

The Applicant is advised that any works undertaken on Council owned land (including but not limited to works relating to crossovers, driveways, footpaths, street trees and stormwater connections), or works that require the closure of the footpath and / or road to undertake works on the development site, will require the approval of the Council pursuant to the *Local Government Act 1999* prior to any works being undertaken. Further information may be obtained by contacting Council's Public Realm Compliance Officer on 8366 4513.

Advisory Note 5

The Applicant is advised that the condition of the footpath, kerbing, vehicular crossing point, street tree(s) and any other Council infrastructure located adjacent to the subject land will be inspected by the Council prior to the commencement of building work and at the completion of building work. Any damage to Council infrastructure that occurs during construction must be rectified as soon as practicable and in any event, no later than four (4) weeks after substantial completion of the building work. The Council reserves its right to recover all costs associated with remedying any damage that has not been repaired in a timely manner from the appropriate person.

Advisory Note 6

The Council has not surveyed the subject land and has, for the purpose of its assessment, assumed that all dimensions and other details provided by the Applicant are correct and accurate.

Advisory Note 7

Appeal Rights - General rights of review and appeal exist in relation to any assessment, request, direction or act of a relevant authority in relation to the determination of this application, including conditions.

Advisory Note 8

Consents issued for this Development Application will remain valid for the following periods of time:

1. Planning Consent is valid for 24 months following the date of issue, within which time Development Approval must be obtained;
2. Development Approval is valid for 24 months following the date of issue, within which time works must have substantially commenced on site;
3. Works must be substantially completed within 3 years of the date on which Development Approval is issued.

If an extension is required to any of the above-mentioned timeframes a request can be made for an extension of time by emailing the Planning Department at townhall@npsp.sa.gov.au. Whether or not an extension of time will be granted will be at the discretion of the relevant authority.

Advisory Note 9

No work can commence on this development unless a Development Approval has been obtained. If one or more Consents have been granted on this Decision Notification Form, you must not start any site works or building work or change of use of the land until you have received notification that Development Approval has been granted.

Advisory Note 10

To assist in the interpretation of the Urban Tree Canopy condition noted above, where payment into a relevant off-set scheme is not possible or chosen, tree(s) must be planted in accordance with the requirements set out below. Further guidance and information can be obtained by visiting the Landscaping and Development webpage on the Council's website (https://www.npsp.sa.gov.au/planning_and_development/landscaping-and-development) or contacting the Council's Planning Department on (08) 8366 4555.

Lot Size Per Dwelling (m2) // Tree Size and Number Required

<450 // 1 small tree

450-800 // 1 medium tree or 2 small trees

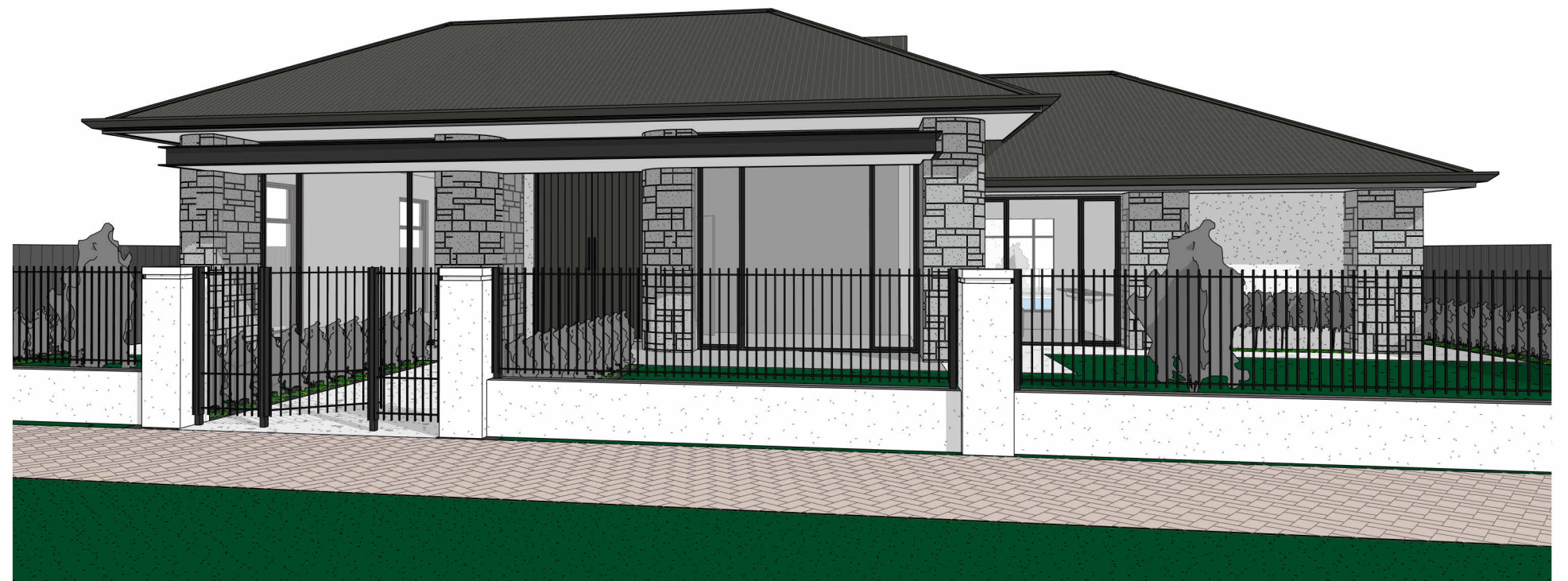
>800 // 1 large tree or 2 medium trees or 4 small trees

Tree Size // Mature Height (minimum) // Mature Spread (minimum) // Soil Area Around Tree Within Development Site (minimum)

Small // 4m // 2m // 10m² and min. dimension of 1.5m

Medium // 6m // 4m // 30m² and min. dimension of 2m

Large // 12m // 8m // 60m² and min. dimension of 4m



THREE SIX FIVE STUDIO

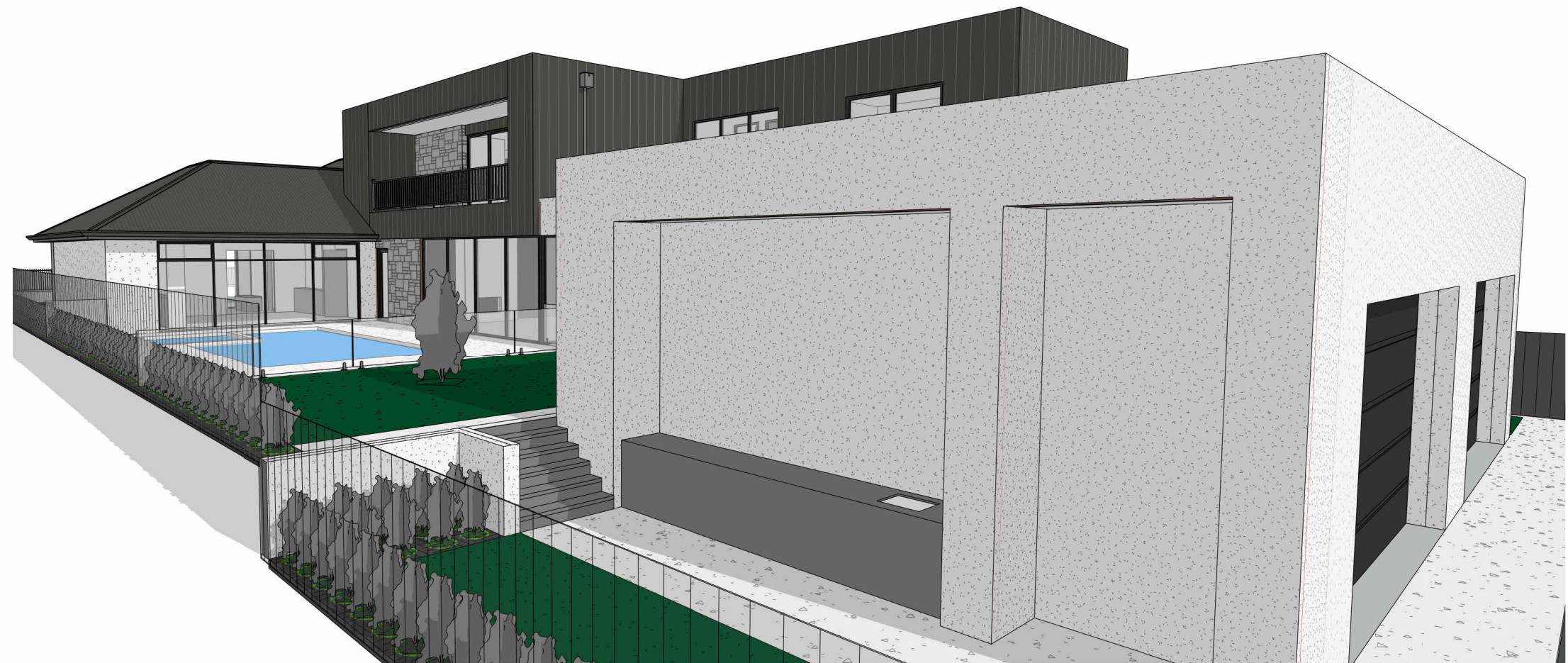


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CLIENT: MOHAMMED ALHAIERY

ADDRESS: 48 SIXTH AVENUE, ST PETERS

ISSUE: J



THREE SIX FIVE STUDIO



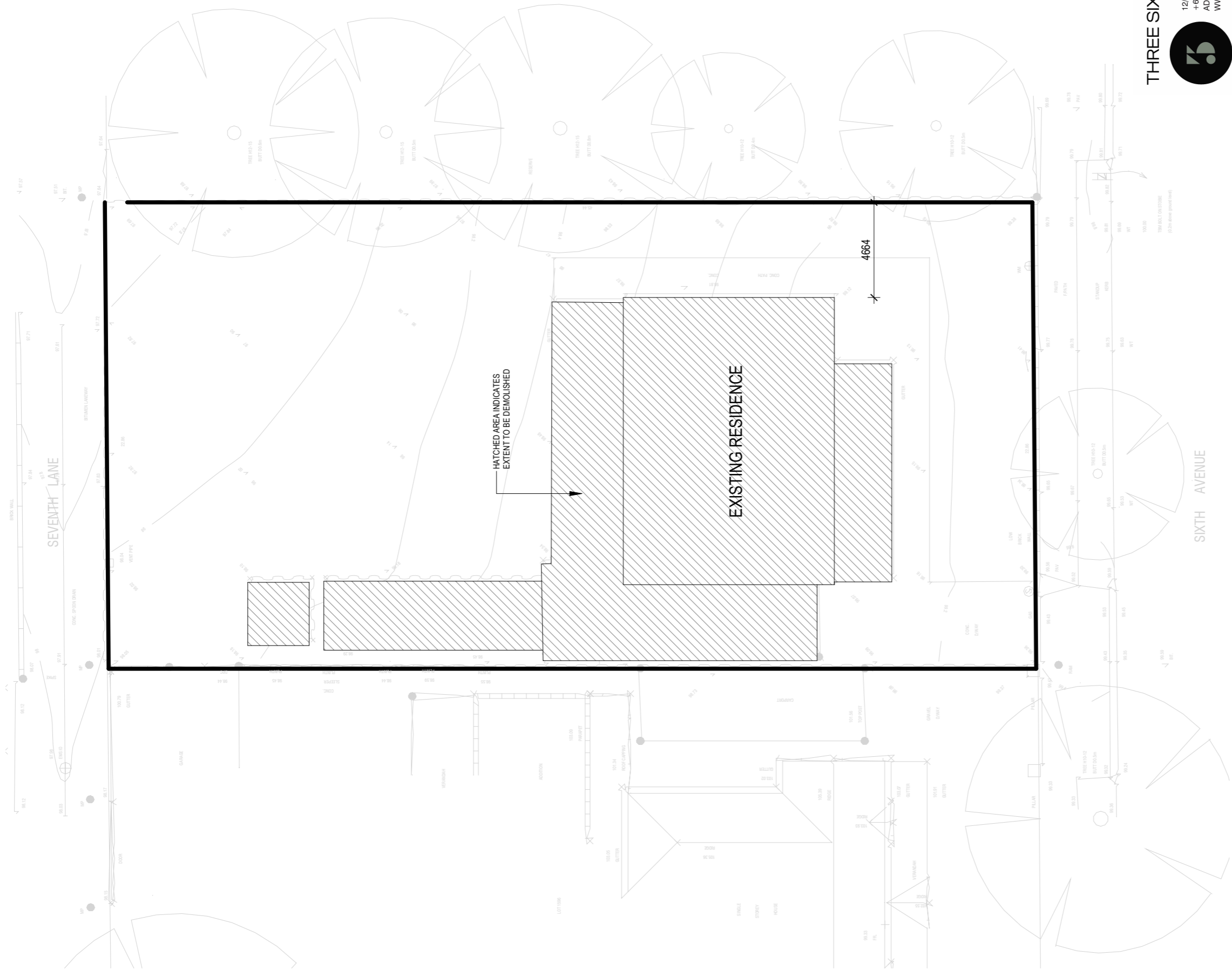
12/53 THE PARADE NORWOOD SA
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NOT FOR CONSTRUCTION
FOR DISCUSSION PURPOSE ONLY



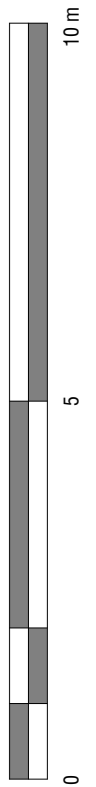
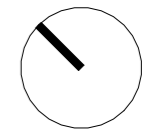
HATCHED AREA INDICATES
EXTENT TO BE DEMOLISHED

EXISTING RESIDENCE

4664

SIXTH AVENUE

SEVENTH LANE



PROPOSED DEMO PLAN SCALE: 1 : 200

PLANNING DRAWINGS

Attachment 1

THREE SIX FIVE STUDIO

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PROJECT:
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ISSUE: J	JOB NO.: 24-07-21	

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LANDSCAPE LEGEND	
TREES	COMMON NAME
	ROBINA (MATURE HEIGHT - 6 m) (MATURE SPREAD - 4 m)
FILLER PLANTS	
	MURRAYA PANICULATA
	RAPHIOLEPIS
	ORIENTAL PEARL

BOUNDARY/SURVEY/SETOUT:
REFER TO WD-00 FOR ALL GENERAL/ BUILDING NOTES

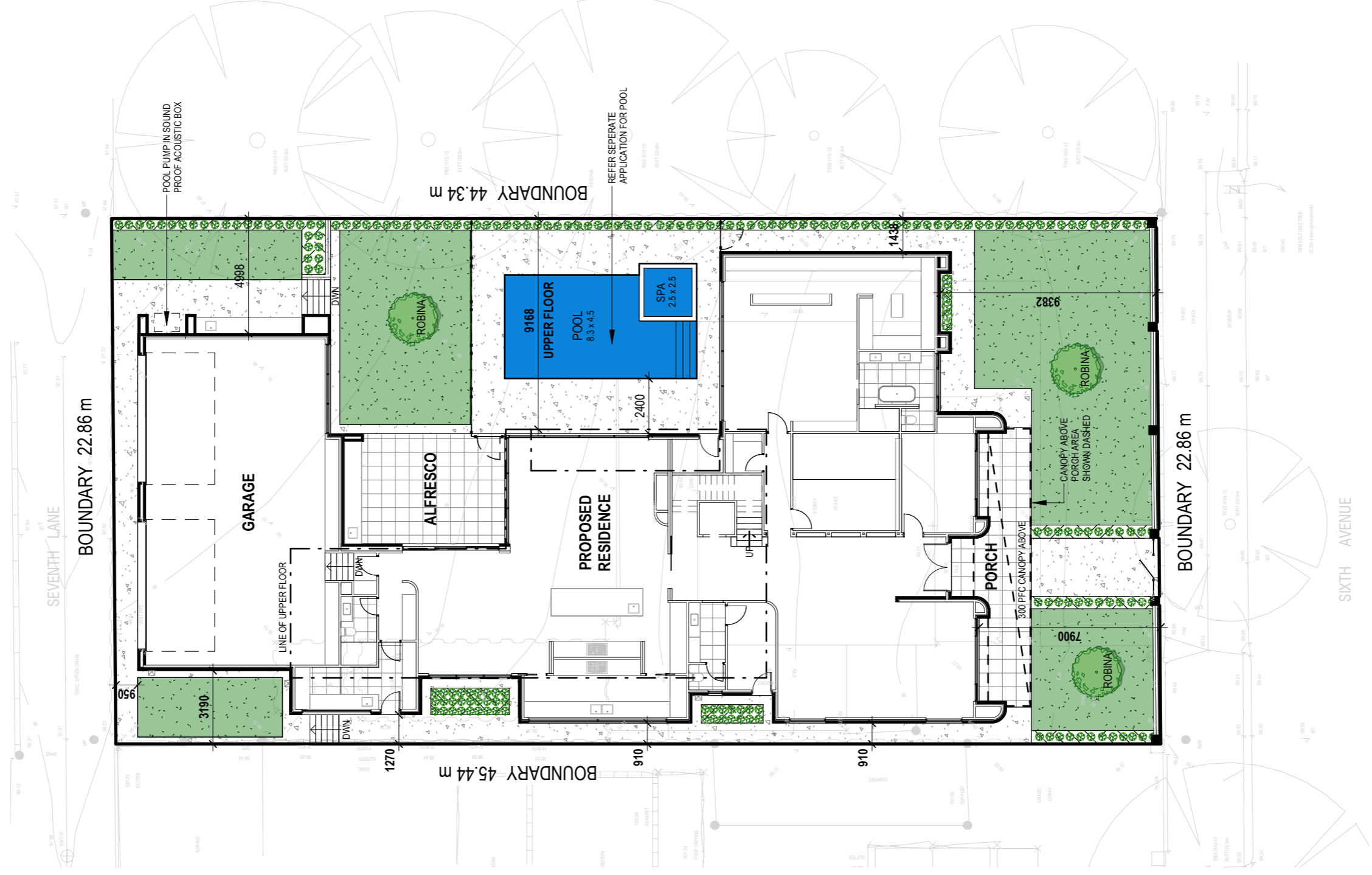
ARCHITECTURALS BY 365 STUDIO IS INDICATIVE FOR BUILDING SETOUT PURPOSE ONLY. PRIOR TO ANY CONSTRUCTION REFER TO SURVEYOR DRAWINGS AND ENGINEERING CIVIL PLAN FOR SITE LEVELS, CONTOURS, BENCH MARKS, SERVICE LOCATIONS. BUILDER TO ORGANISE A CERTIFIED SURVEY PRIOR TO ANY CONSTRUCTION IS COMMENCED. BUILDER TO CHECK AND CONFIRM ALL SITE AND SET OUT DIMENSIONS PRIOR TO COMMENCEMENT OF CONSTRUCTION. PLANS TO BE READ IN CONJUNCTION WITH THE ENGINEERS AND SURVEYORS DRAWINGS/ DETAILS. BUILDER TO CONFIRM ENGINEER DRAWINGS ARE UPDATED

BRUSH FENCE NOTE:

THERE WILL NOT BE ANY BRUSH FENCES WITHIN 3M OF THE PROPOSED BUILDING WORKS. ANY BRUSH FENCES THAT ARE WITHIN 3M OF THE PROPOSED WORKS/DWELLING ARE TO BE REMOVED BY THE OWNER & REPLACED WITH A NON-COMBUSTIBLE MATERIAL THAT MUST COMPLY WITH BCA REQUIREMENTS

STORM-WATER / RAINWATER TANK NOTE:

REFER TO ENGINEERS CIVIL PLAN FOR ALL LEVELS, RETAINING WALLS, STORMWATER DRAINAGE PLAN AND RAINWATER TANK SPECIFICATIONS



SITE AREAS

Name	Area
SITE AREA	1039 m ²
SITE COVERAGE	577.49 m ² (55.58%)
PRIVATE OPEN SPACE	317.05 m ² (30.51%)
SOFT LANDSCAPING	267.84 m ² (25.78%)

AREAS

Name	Area
LOWER LIVING	384.38 m ²
GARAGE	130.31 m ²
ALFRESCO	33.39 m ²
PORCH	29.41 m ²
UPPER LIVING	160.66 m ²
BALCONY	14.42 m ²
	752.56 m ²

THREE SIX FIVE STUDIO



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PROJECT:
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Attachment 1

PLANNING DRAWINGS

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SCALE: 1 : 200

PROPOSED SITE PLAN

ROOF PLAN NOTES:

REFER TO WD-00 FOR ALL GENERAL/
BUILDING NOTES
REFER TO ENGINEERING FOR FRAMING,
BRACING & STORMWATER LAYOUTS.
THE ROOF STORM WATER BOX GUTTER
MUST BE AT LEAST 300MM WIDE AND
FITTED WITH A RAINWATER HEAD (SUMP)
AND OVERFLOW SPOUT AT THE LOWEST
POINTS.
ALL EAVES AND GUTTERS TO BE
PROVIDED WITH CONTINUOUS OVERFLOW
PROVISIONS IN ACCORDANCE WITH
CLAUSE 7.4.6 OF THE ASBS HOUSING
PROVISION STANDARD 2022



SKYLIGHT OVER



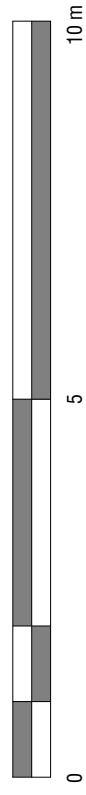
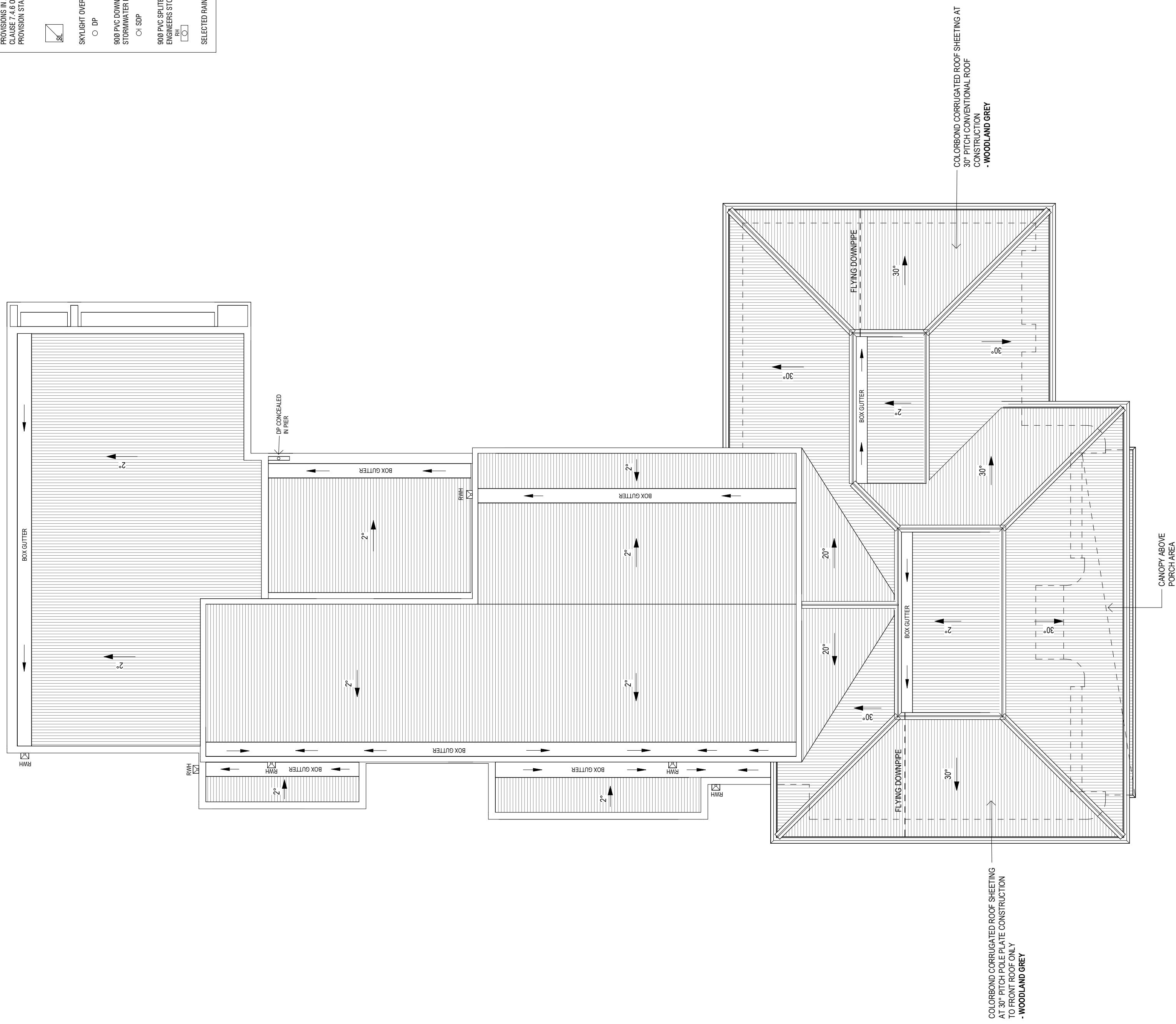
900 PVC DOWNPIPES AS PER ENGINEERS
STORMWATER PLAN.



900 PVC SPLITTER DOWNPIPE AS PER
ENGINEERS STORMWATER PLAN.



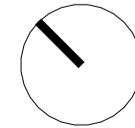
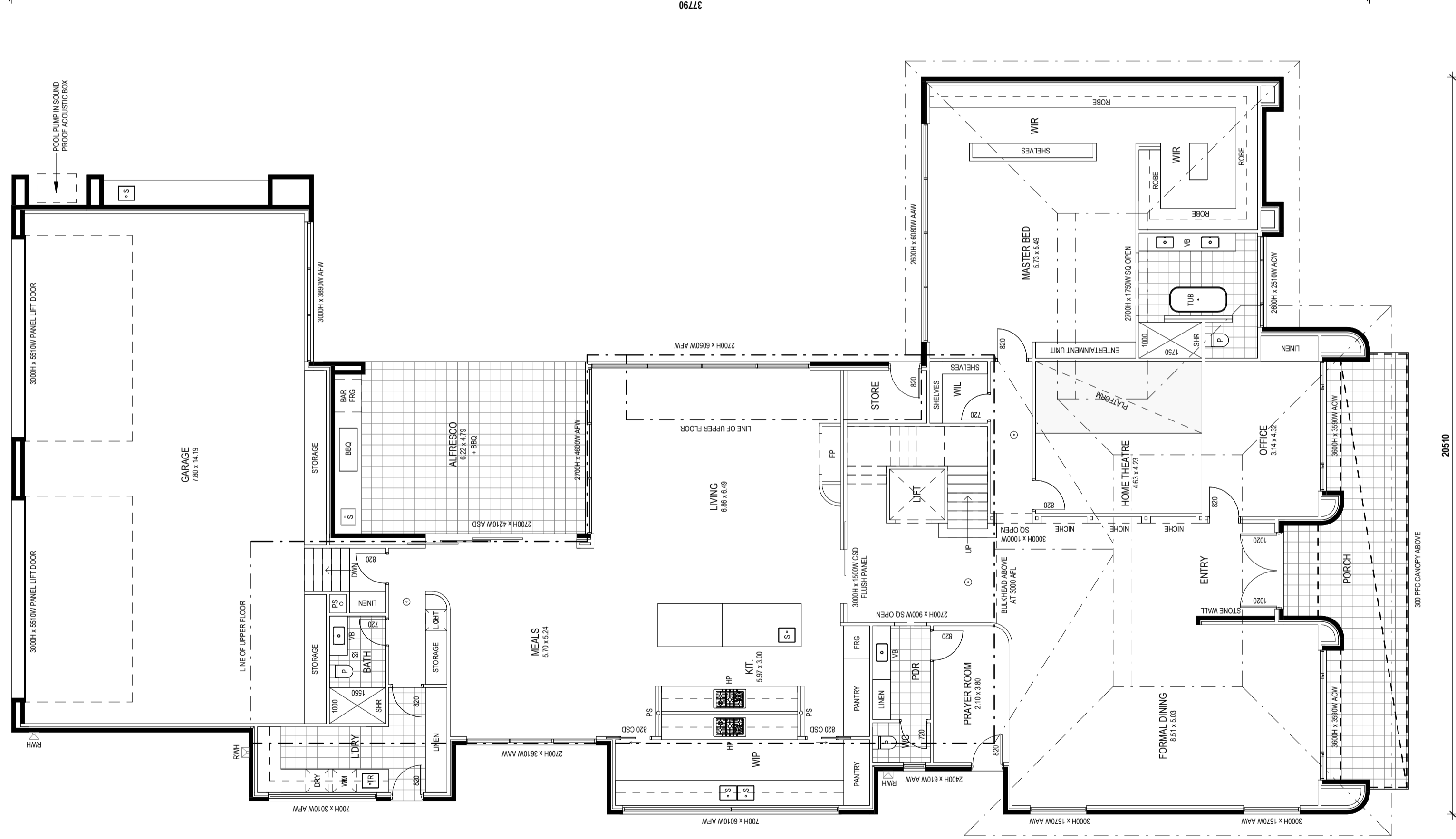
SELECTED RAIN-HEAD



ALL DIMENSIONS ARE APPROXIMATE AND MUST BE CONFIRMED BY ANY
CONSTRUCTION COMMENCES. ANY DISCREPANCIES OR INACCURACIES ARE TO BE
NOTIFIED TO 365 STUDIO PRIOR TO THE COMMENCEMENT OF CONSTRUCTION
AND NOT SCALE FROM THIS DRAWING.

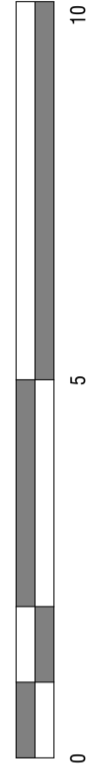
AREAS	
Name	Area
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ALFRESCO	33.39 m ²
PORCH	29.41 m ²
UPPER LIVING	160.66 m ²
BALCONY	14.42 m ²
	762.56 m ²

- FLOOR PLAN NOTES:**
- REFER TO WD-00 FOR ALL GENERAL/ BUILDING NOTES
 - HARDWIRED SMOKE DETECTOR WITH BATTERY BACK-UP INSTALLED AND INTERCONNECTED IN ACCORDANCE WITH AS 3786-2014
 - SELECTED AND INSTALLED EXHAUST FAN BE IN ACCORDANCE WITH AS 1553 FOR ALL EXHAUST FANS OR WITH THE RELEVANT MANUFACTURER'S INSTRUCTIONS
 - WC DOOR HAVING DEMOUNTABLE HINGES AND BEINGS REMOVABLE FROM OUTSIDE THE WC



PROPOSED LOWER FLOOR

SCALE: 1 : 100



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CLIENT: MOHAMMED ALHAIRY
PROJECT: PROPOSED RESIDENCE
ADDRESS: 48 SIXTH AVENUE, ST PETERS

PAGE SIZE: A2
DRAWING BY: DM
ISSUE: J
DRAWING NO.: 06
JOB NO.: 24-07-21

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PLANNING DRAWINGS

FLOOR PLAN NOTES:

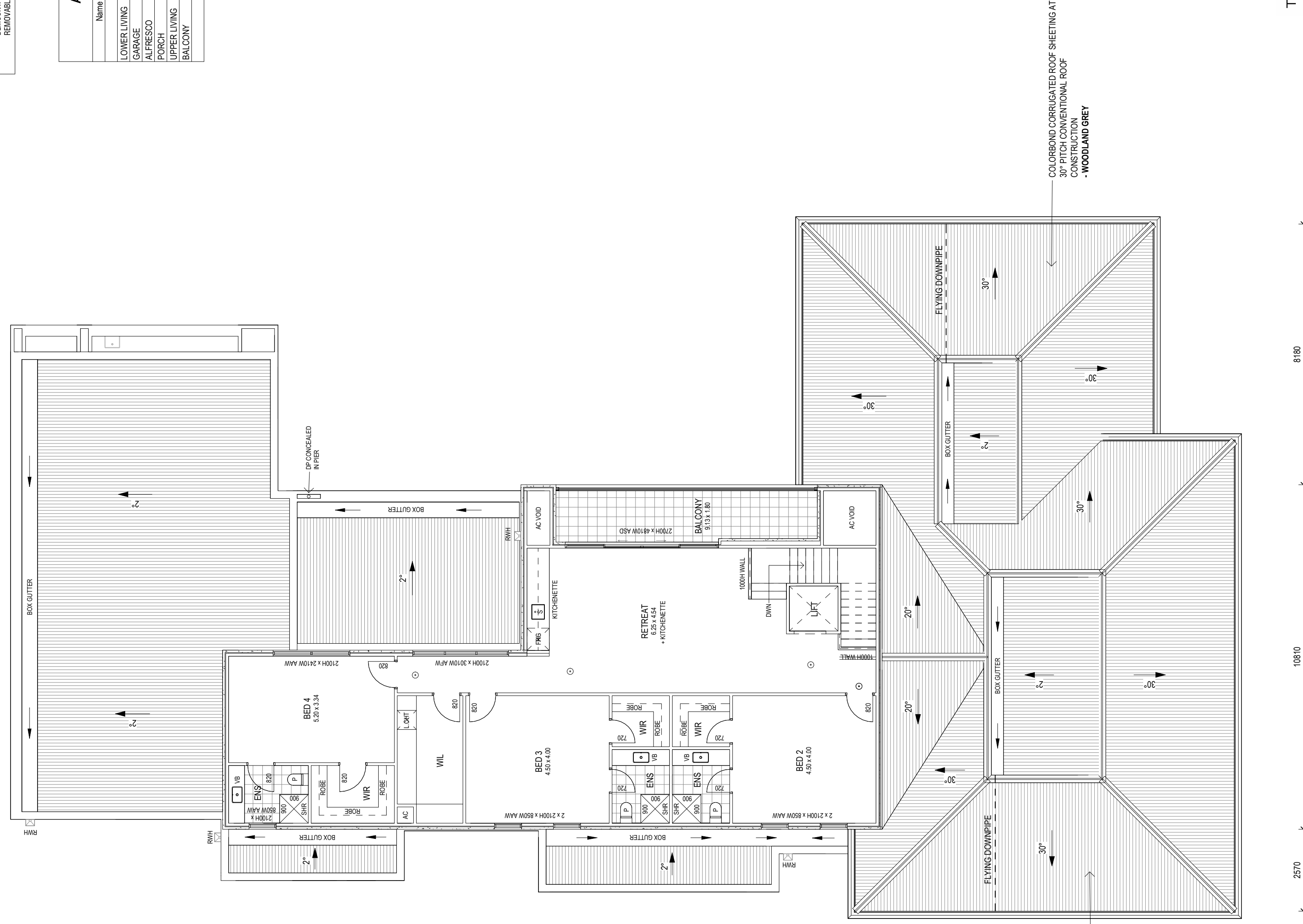
REFER TO WD-00 FOR ALL GENERAL/
BUILDING NOTES

⊙ HARDWIRED SMOKE DETECTOR WITH
BATTERY BACK-UP INSTALLED AND
INTERCONNECTED IN ACCORDANCE WITH
AS 3786-2014

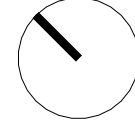
⊗ SELECTED AND INSTALLED EXHAUST FAN
TO BE IN ACCORDANCE WITH BCA -
P3.8.7.3 DUCTED TO ATMOSPHERE OR
VENTILATED ROOF SPACE INSTALLED
IN ACCORDANCE WITH AS 1688.2

WC DOOR HAVING
DEMOUNTABLE HINGES AND BEINGS
REMOVABLE FROM OUTSIDE THE WC

AREAS	
Name	Area
LOWER LIVING	384.38 m ²
GARAGE	130.31 m ²
ALFRESCO	33.39 m ²
PORCH	29.41 m ²
UPPER LIVING	160.66 m ²
BALCONY	14.42 m ²
	752.56 m ²

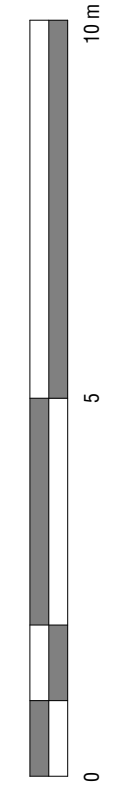


2570 10810 8180



PROPOSED UPPER FLOOR

SCALE: 1 : 100



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 +61 8 8363 4184
 ADMIN@365STUDIO.COM.AU
 WWW.365STUDIO.COM.AU

Attachment

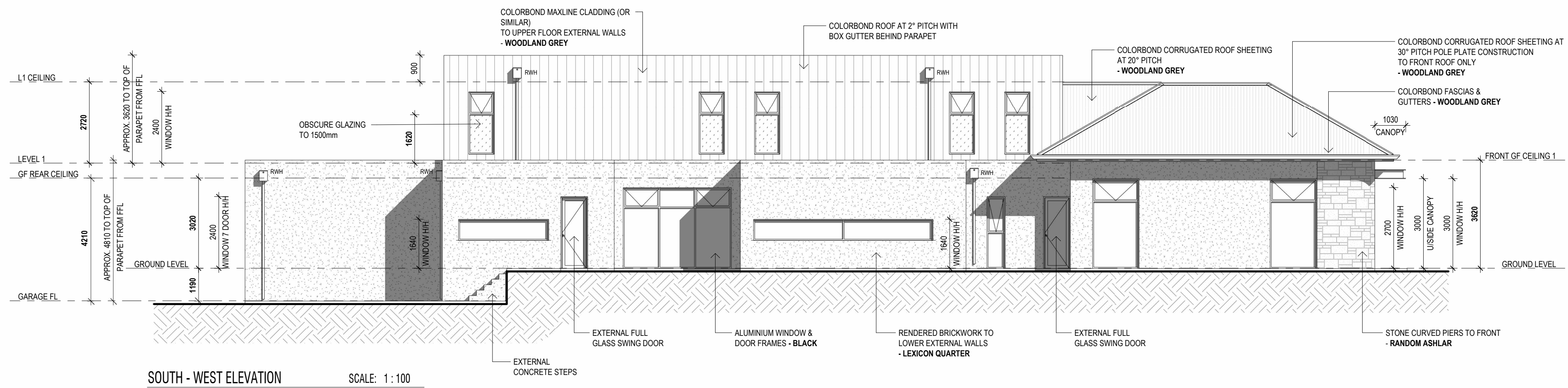
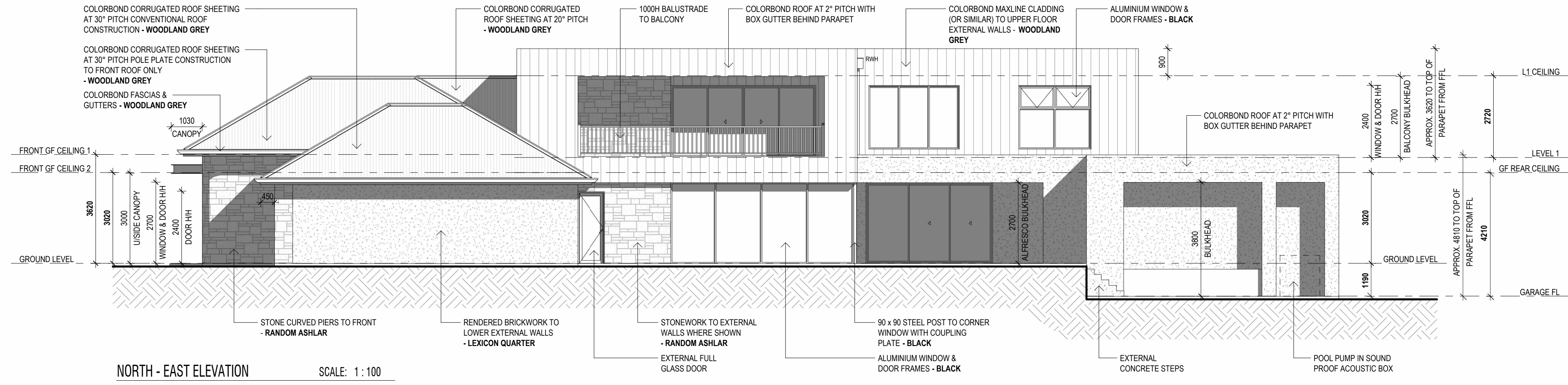
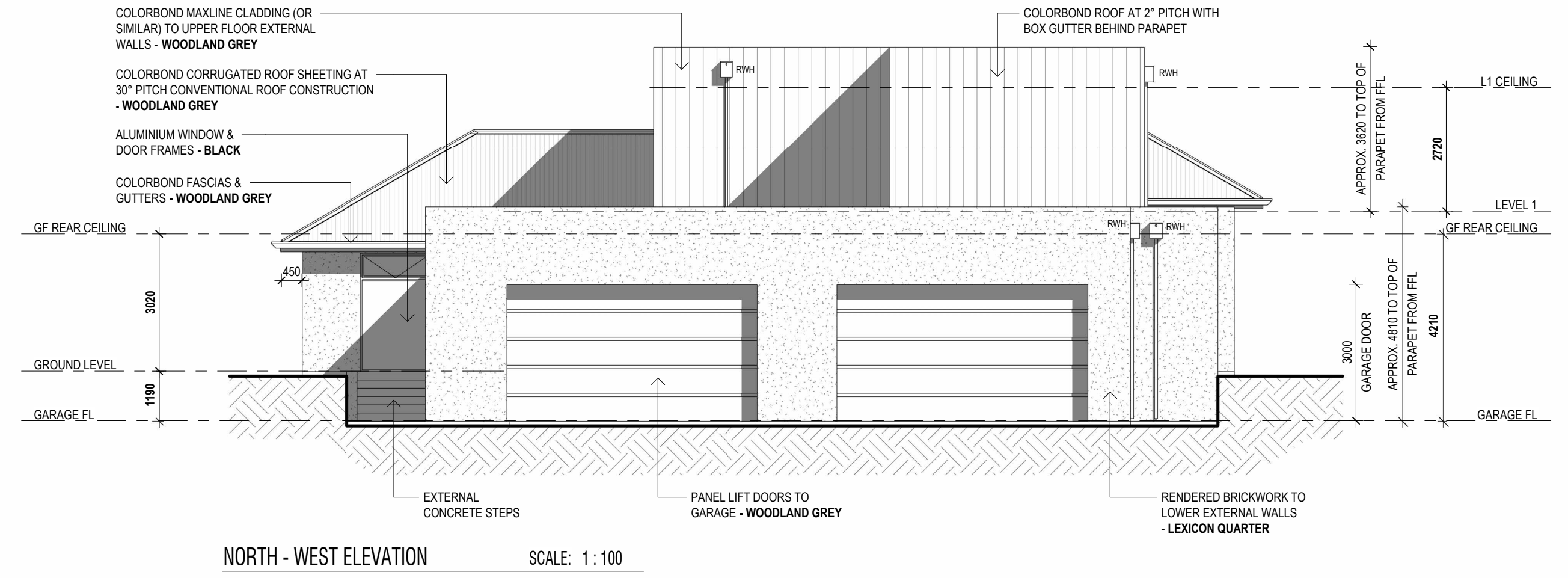
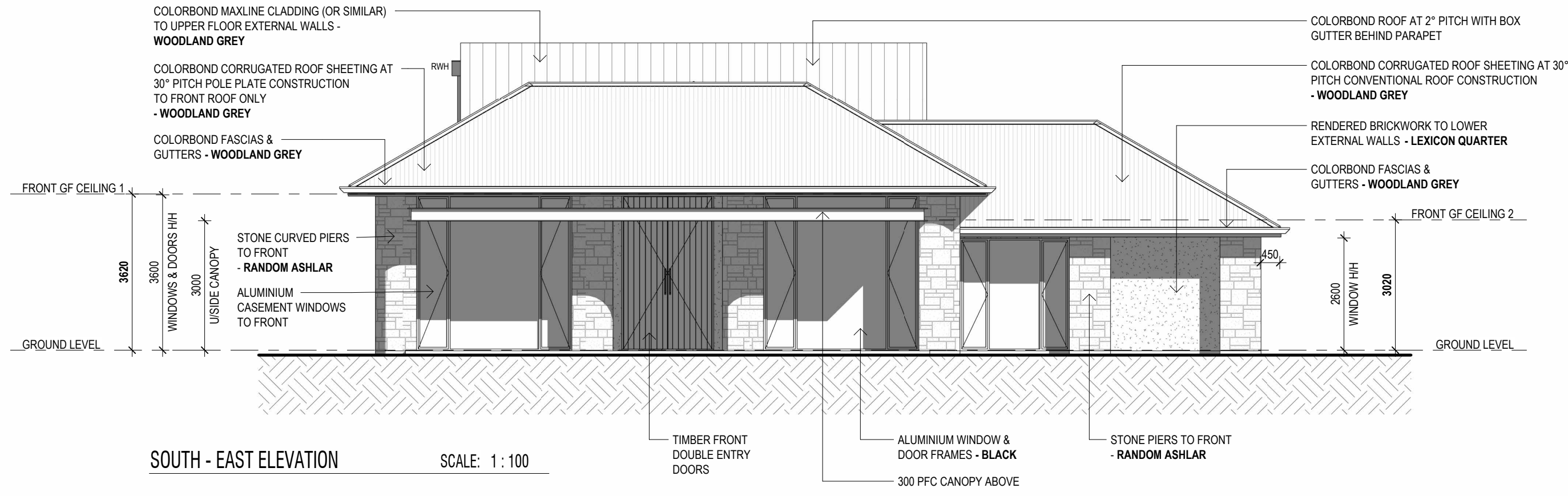
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 ADDRESS: 48 SIXTH AVENUE, ST PETERS

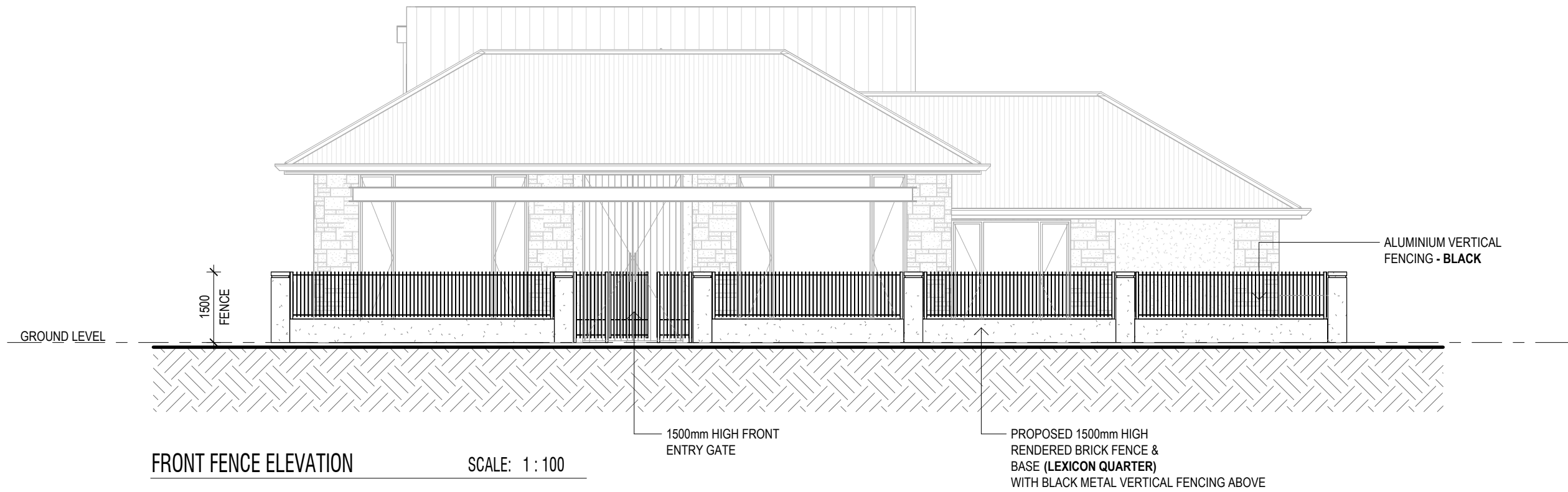
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 ISSUE: J JOB NO: 24-07-21

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PROJECT:
PROPOSED RESIDENCE

ADDRESS:
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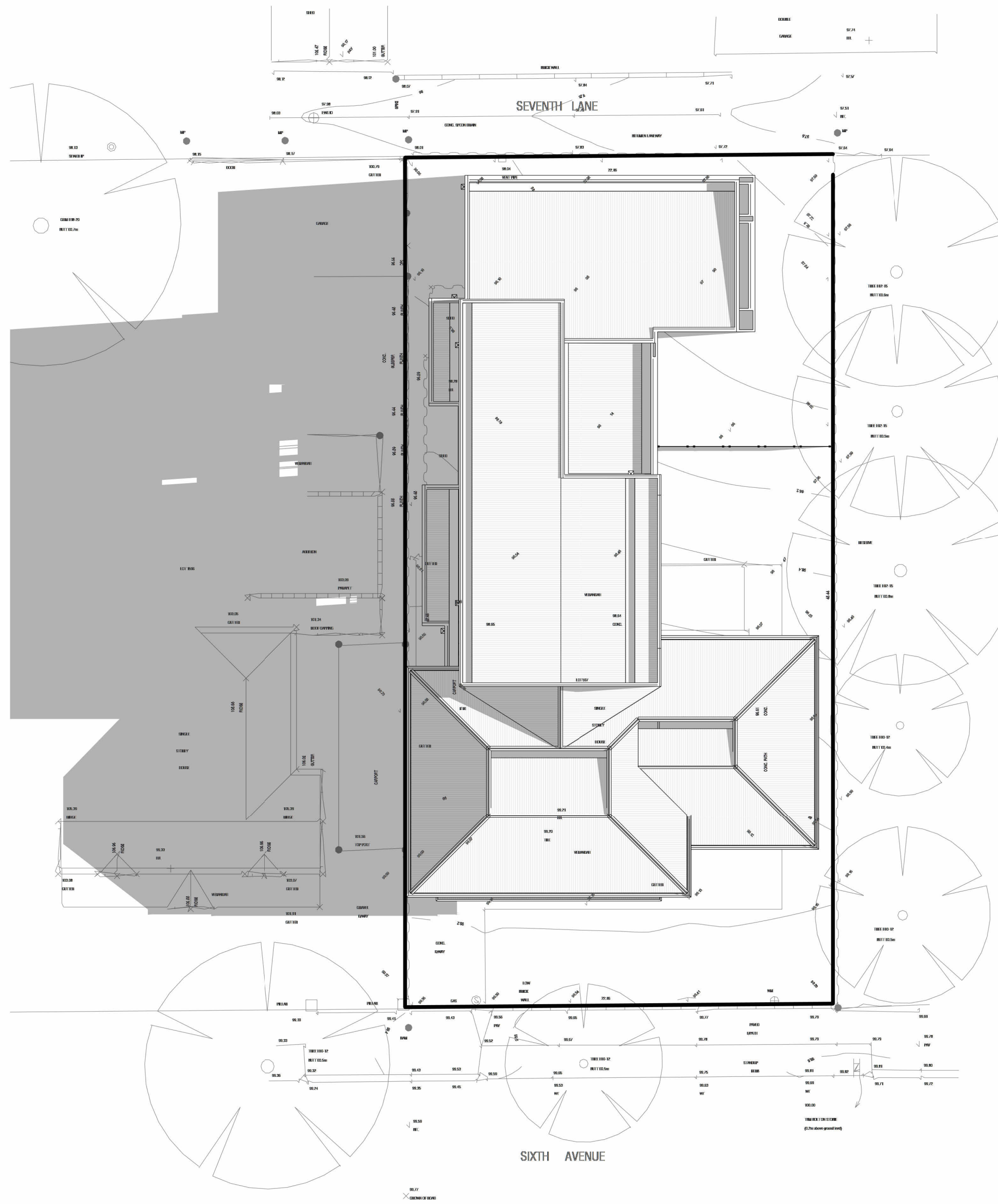
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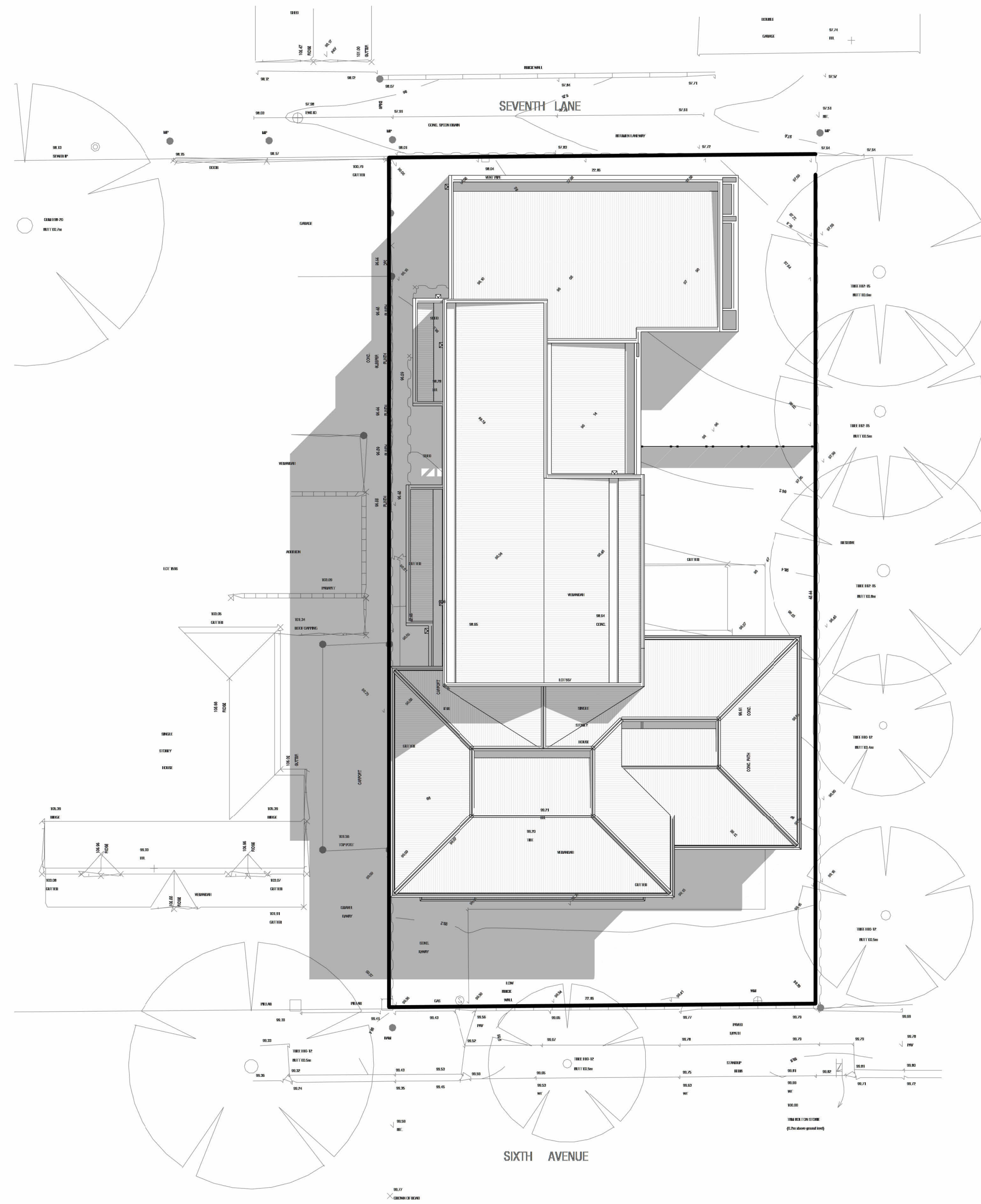
ISSUE: J	JOB NO.: 24-07-21
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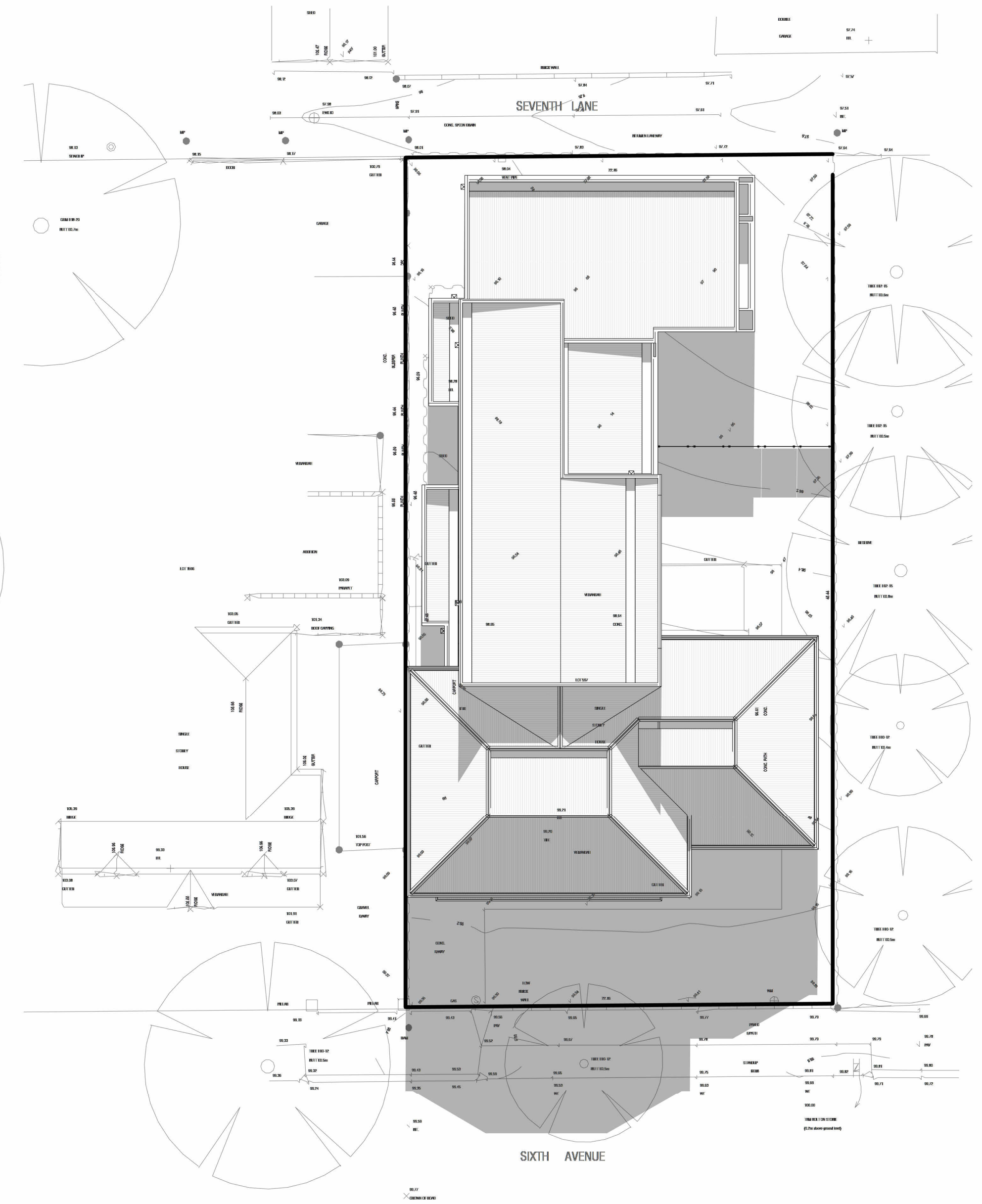
PLANNING DRAWINGS



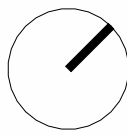
SHADOW DIAGRAM - 9AM SCALE: 1:200

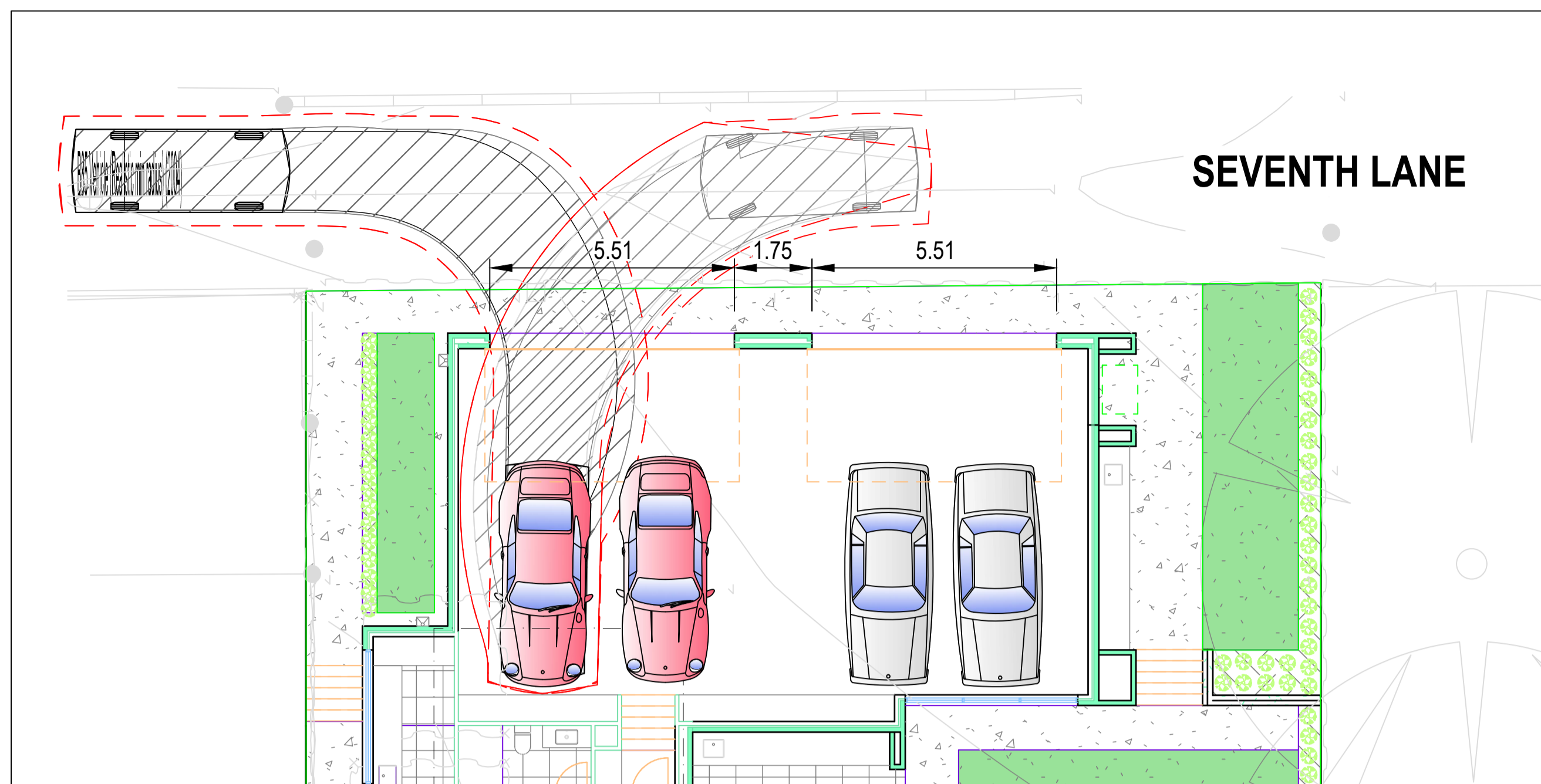
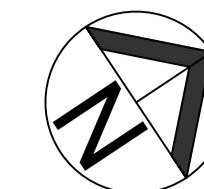


SHADOW DIAGRAM - 12PM SCALE: 1:200

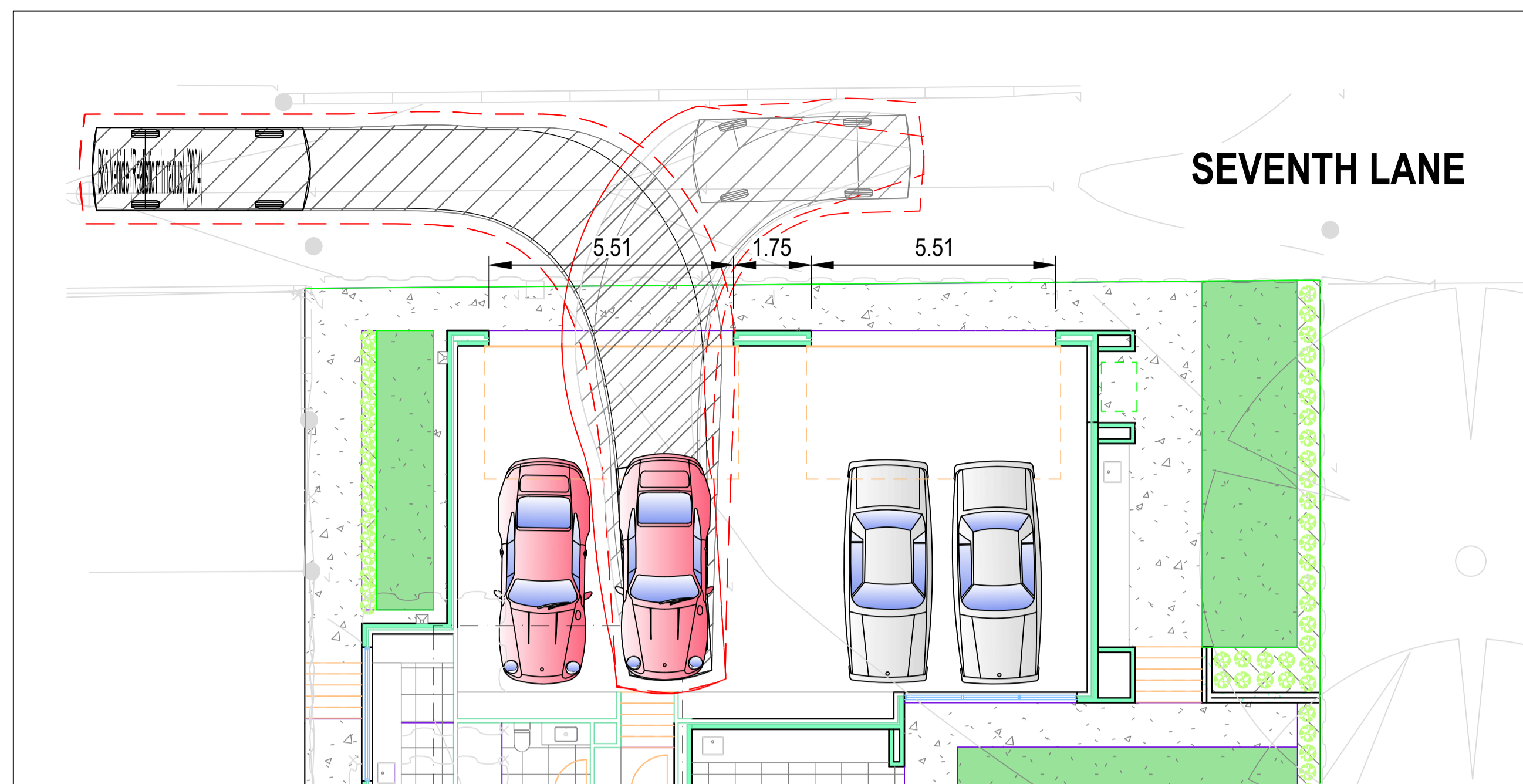


SHADOW DIAGRAM - 3PM SCALE: 1:200

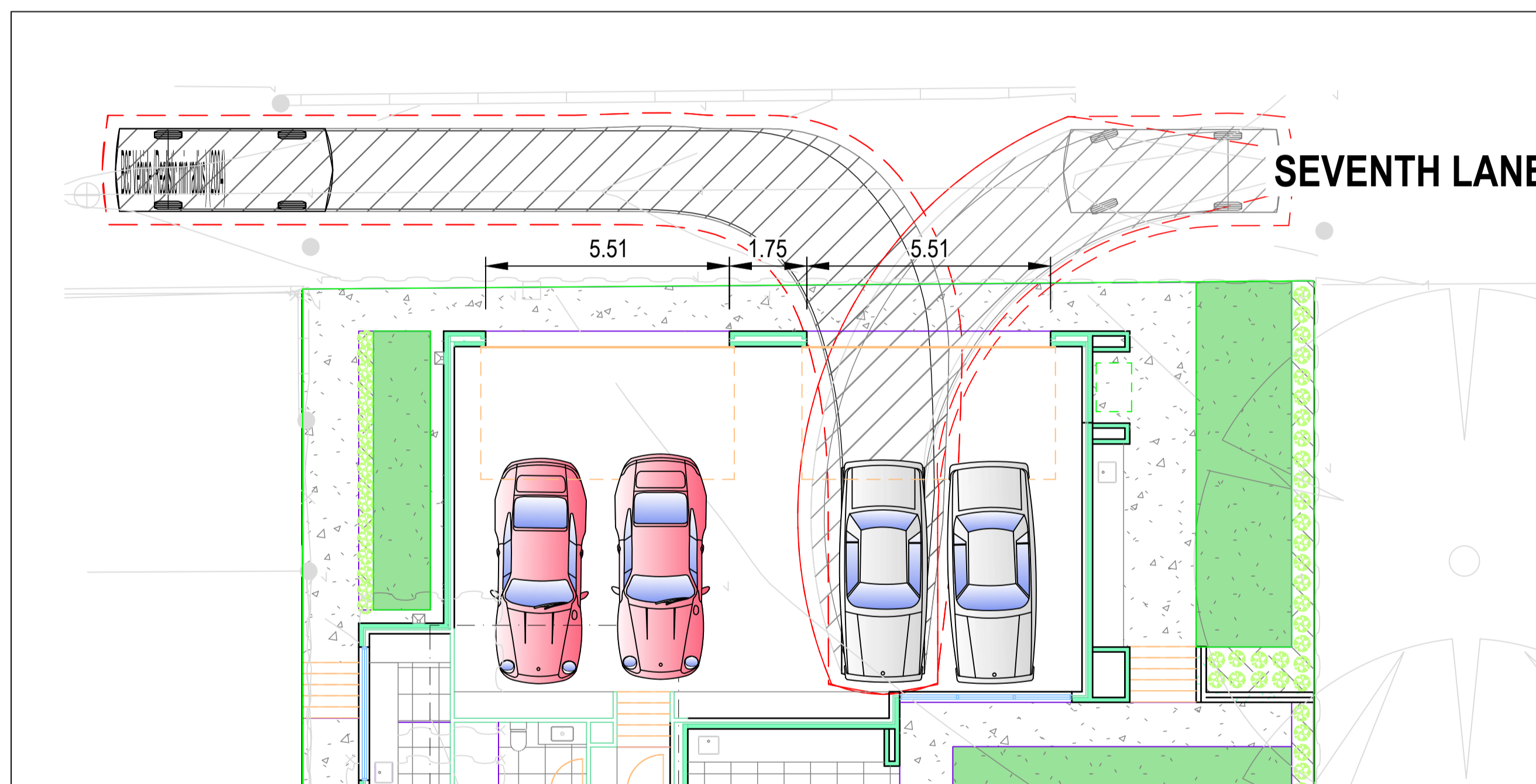




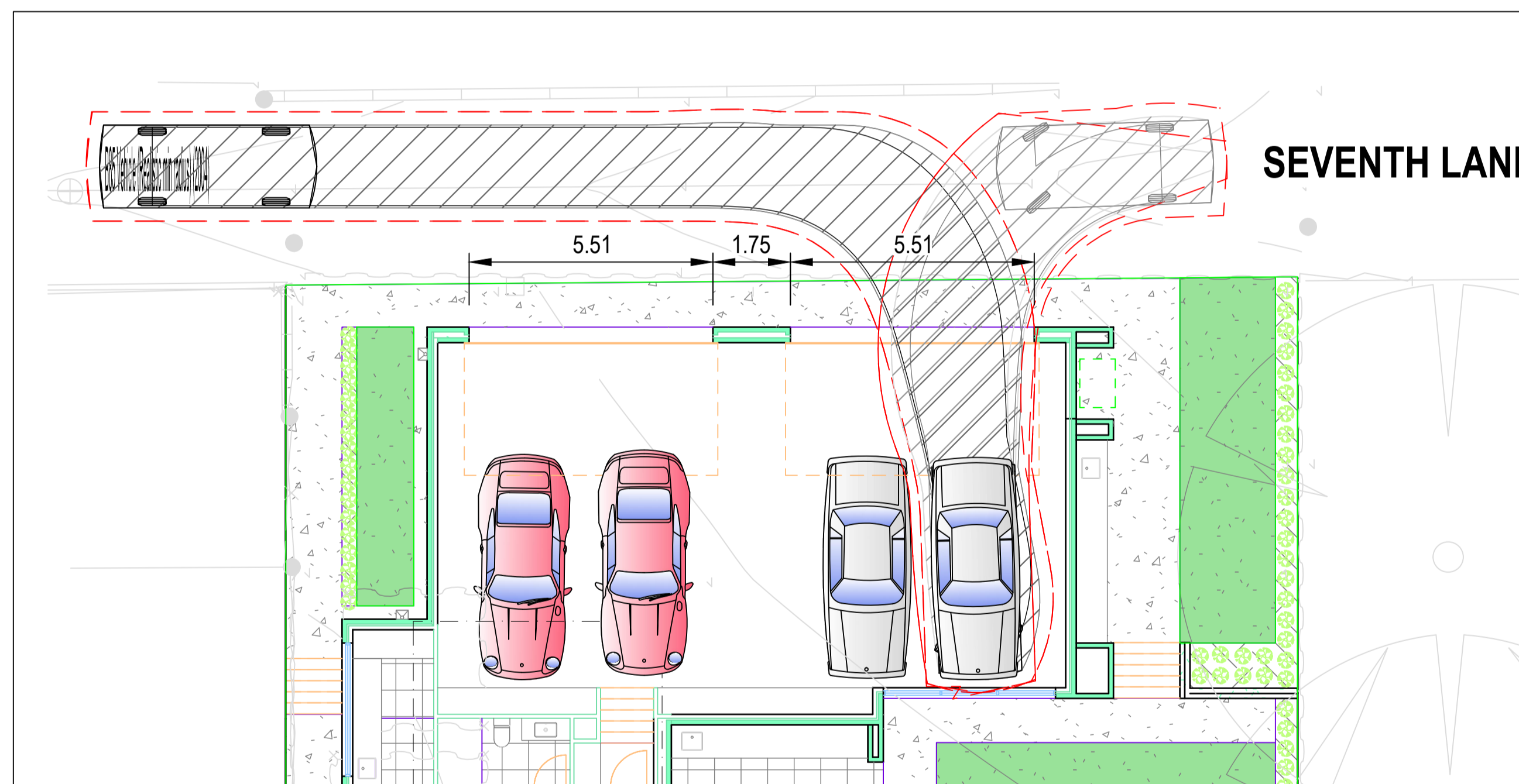
TURN PATH ASSESSMENT BASED ON EXISTING FLOOR PLAN (CAR 1)
 B85 VEHICLE (REALISTIC MIN RADIUS) (4.9m)
 SCALE 1:100



TURN PATH ASSESSMENT BASED ON EXISTING FLOOR PLAN (CAR 2)
 B85 VEHICLE (REALISTIC MIN RADIUS) (4.9m)
 SCALE 1:100



TURN PATH ASSESSMENT BASED ON EXISTING FLOOR PLAN (CAR 3)
 B85 VEHICLE (REALISTIC MIN RADIUS) (4.9m)
 SCALE 1:100



TURN PATH ASSESSMENT BASED ON EXISTING FLOOR PLAN (CAR 4)
 B85 VEHICLE (REALISTIC MIN RADIUS) (4.9m)
 SCALE 1:100

B85 VEHICLE (REALISTIC MIN RADIUS) (4.9m)

B85 Vehicle (realistic min radius) (4.9 m)
 Overall Length 4.910m
 Overall Width 1.870m
 Overall Body Height 1.421m
 Min Body Ground Clearance 0.159m
 Track Width 1.770m
 Lock-to-lock time 4.00s
 Curb to Curb Turning Radius 5.750m

SWEPT PATH LEGEND

- CLEARANCE OFFSET = 0.3m
- VEHICLE BODY PATH
- VEHICLE WHEEL PATH

ASSUMED VEHICLE SPEED = 5 km/h

Autodesk Vehicle Tracking (Standards Australia - AS/NZS 2890.1:2004 (Off Street Car Parking))

B	INFORMATION	HC	BZ	BZ	19.11.2024
A	INFORMATION	HC	BZ	BZ	30.10.2024
REV	DESCRIPTION	DRAWN	CHECK	APP'D	DATE

SCALES:
 1:100 @ A1

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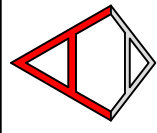
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 ABN 90 631 262 756

CLIENT:

SIXTH AVENUE
 THE CITY OF NORWOOD PAYNEHAM AND STPETERS
 THREESIXFIVE STUDIO
TURN PATH ASSESSMENT
 SWEPT PATH PLAN

INFORMATION

DESIGN BY: H.CHAN	DRAWN BY: H.CHAN	PROJECT # BE24-092	SHEET SIZE: A1
DRAWING # BE24-092		SHEET # C01	REV # B



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REF: ZS17155 | Dwg No. 1 of 1

PROPOSED RESIDENCE

AT: 48 SIXTH AVENUE
ST PETERS

FOR: MOHAMMED ALHAIRY

DATE: 26/11/24 | Dwg by AR

DATE: 20/02/25 | Dwg by RM

WHERE NECESSARY, PROVIDE CONCRETE STRIP UPSTAND UNDER NEW FENCE TO RETAIN NEIGHBOURING LOOSE DISTURBED GROUND. 20MPA CONCRETE 2N12 TOP AND BOTTOM.

CONNECTION OF STORMWATER DRAINS AND WASTE DRAINS SHALL INCLUDE FLEXIBLE CONNECTIONS FOR THIS SITE.

40mm CLOSED CELL POLYETHYLENE LAGGING SHALL BE USED AROUND STORMWATER AND SEWER PIPES PENETRATING FOOTING BEAMS.

DRIVEWAY AND CROSS OVER TO COUNCIL SPECIFICATIONS REINSTATE EXISTING CROSSOVER AND KERB TO COUNCIL REQUIREMENTS

DISCHARGE STORMWATER TO STREET WATER TABLE AS PER COUNCIL REQUIREMENTS

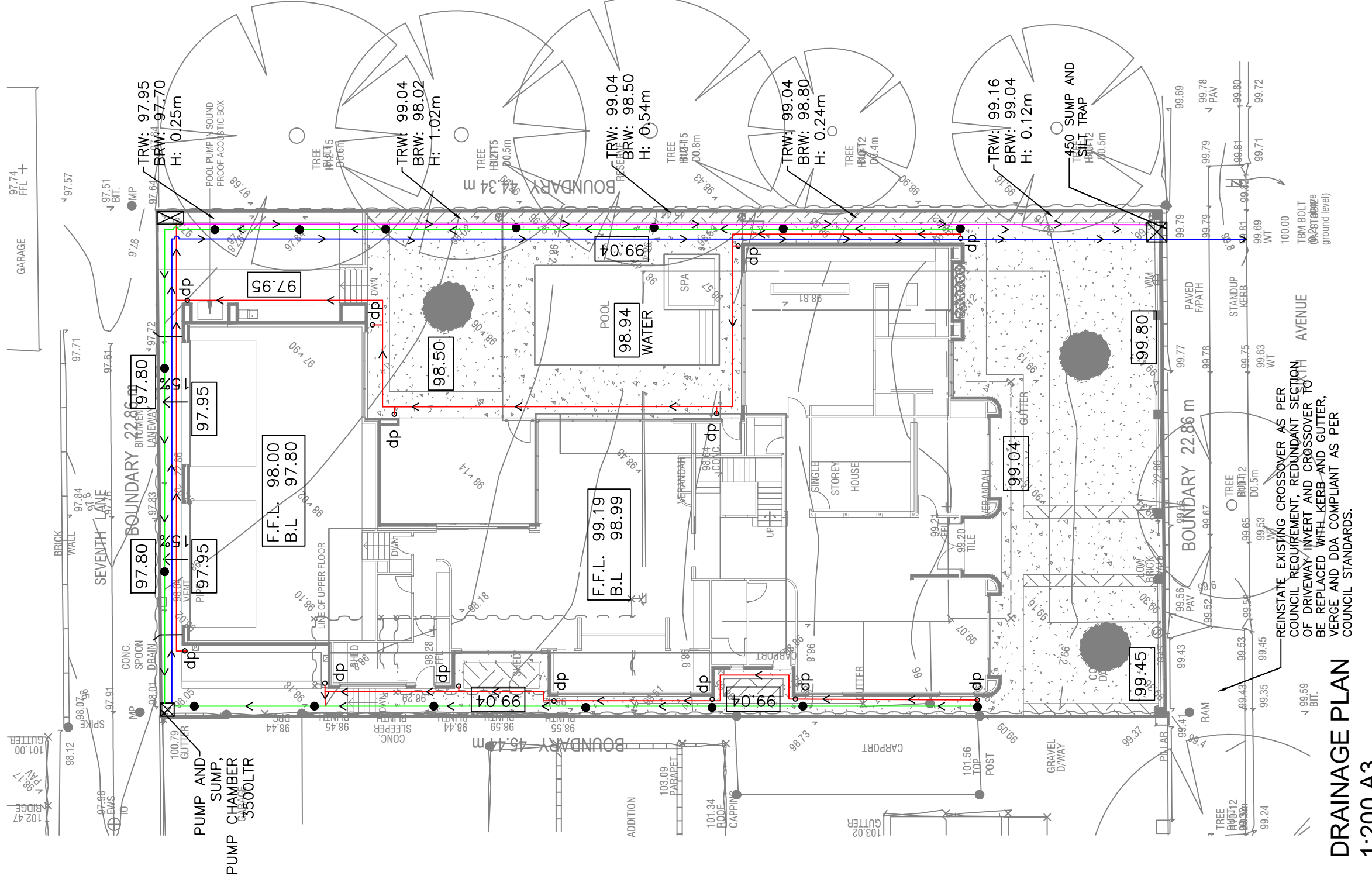
PROVIDE SLEEVES FOR ALL PIPES PENETRATING FOOTING BEAMS

CONNECT SEWER DRAIN TO SEWER INLET TO COUNCIL REQUIREMENTS. CONTRACTOR TO ENSURE ADEQUATE SEWER DRAIN FALL IN RELATION WITH BUILDING PROPOSED FINISHED FLOOR LEVEL. IF FALL CAN NOT BE ACHIEVED THEN, CONTACT THE ENGINEER FOR FURTHER CONSULTATION.

BUILDING PERIMETER PAVING - REINFORCE CONCRETE PAVING WITH F62 FABRIC TOP FOR SOIL CLASS H&E, 100mm THICK. AND, F52 TOP FOR SOIL CLASS A, S AND M, 75mm THICK.

LEGEND

- 300 X 300 SUMP
- IL/inv
- PAVING
- DESIGN LEVEL
- FFL:
- BL:
- EXISTING GROUND LEVEL
- SEWER PIPE 1:50 MIN FALL
- 150 DIAM GRATED SUMP
- GRATED TRENCHED DRAIN 1:200 MIN FALL
- INSPECTION OPENING
- STORMWATER DOWN PIPE
- STORMWATER ALIGNMENT 90 UPVC PIPE U.N.O 1:100
- SURFACE CONTOUR 100.20
- SEWER INLET
- RAMP SLOPE 1:8
- RAMP DETAIL



DRAINAGE PLAN 1:200 A3



NOTE: MINIMUM 60% OF THE ROOFED AREA OF THE DWELLING WILL BE PLUMBED TO THE RAIN WATER TANK

SITE AREA - 1036m²
ROOF AREA - 550m² - 60% TO TANK
SITE PERVIOUSNESS - 15%
RETENTION AND DETENTION IN ACCORDANCE WITH TABLE 1 FROM THE STORMWATER MANAGEMENT OVERLAY

DENOTES 2500L TR DETENTION AND 4000L TR RETENTION TANK CONNECTED TO WC AND L'DRY HOT OR COLD WATER OUTLET. 25mm ORIFICE.

PUMP AND SUMP IN ACCORDANCE WITH PUMP SPECIFICATION. PROVIDE PUMPING STATION 2X AP12-40 SUMP PUMPS.
PUMP DISCHARGE RATE AT 3 LTR/SEC. PROVIDE PUMP ALTERNATE DUTY CYCLES WITH AUTOMATIC REVERSION SHOULD ANY FAIL. PUMP SHALL BE EQUIPPED WITH FAILURE ALARM.

NOTE: SLAB
30 DEG.
SERVICE PIPE
PROPOSED FOOTING SHALL BE FOUNDED AT A DEPTH SUCH THAT A LINE DRAWN TO 30DEG AS SHOWN SHALL NOT INTERSECT WITH THE INVERT LEVEL OF THE EXISTING EASEMENT SERVICE PIPE



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Date **2/20/2025**
Job No. **7155**
Site **48th Sixth Avenue, St Peters**
Client **Mohammed Alhaiery**

STORMWATER CALCULATIONS

Australian Codes:

- AS/NZS 3500.3 Plumbing and drainage
- Australian Rainfall and Runoff
- Australian Runoff Quality
- WSUD - Water sensitive urban design engineering procedure: Storm

Joe Z. Said. MIE.Aust

A handwritten signature in black ink, appearing to read 'Joe Z. Said', written over a horizontal line.

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Stormwater calculations - Detention design

Site: **48th Sixth Avenue, St Peters**
Date: 2/20/2025
Ref: 7155

Summary Table

Predev Event ARI	Storm Dur. (min)	Postdev Event ARI	Storm Dur. (min)	Pre-dev Flow (l/s)	Undetained (l/s)	Inflow l/s	Outflow l/s
5	5	20	5	13.75	10.65	7.10	0.10
5	5	20	10	13.75	7.91	5.27	1.68
5	5	20	20	13.75	5.44	3.63	1.68
5	5	20	30	13.75	4.29	2.86	1.68
5	5	20	60	13.75	2.82	1.88	1.68
5	5	20	120	13.75	1.84	1.22	1.68

Storm Dur. (min)	Detention (LTR)
5	2087.45
10	1986.65
20	2205.97
30	2025.23
60	697.24
120	-3157.50

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Stormwater calculations - Detention design

Site: **48th Sixth Avenue, St Peters**
Date: 2/20/2025
Ref: 7155

Input data

DURATION	ARI (years)						
	1	2	5	10	20	50	100
5 mins	52.6	69.0	81.9	104.0	123.0	151.0	175.0
6 mins	49.1	64.5	83.5	96.7	115.0	141.0	163.0
10 mins	39.8	52.0	66.9	77.1	91.3	112.0	129.0
20 mins	28.3	36.8	46.8	53.4	62.8	76.2	87.3
30 mins	22.7	29.4	37.1	42.3	49.5	59.8	68.3
1 hour	15.2	19.7	24.6	27.9	32.5	39.0	44.4
2 hours	10.1	13.0	16.2	18.3	21.2	25.4	28.9
3 hours	7.9	10.2	12.7	14.3	16.6	19.9	22.5
6 hours	5.2	6.8	8.4	9.4	11.0	13.1	14.9
12 hours	3.5	4.4	5.5	6.2	7.2	8.7	9.8
23 hours	2.2	2.9	3.6	4.1	4.7	5.7	6.4
28 hours	1.4	1.8	2.2	2.6	3.0	3.6	4.1
72 hours	1.0	1.3	1.7	1.9	2.2	2.7	3.1

Note: Design storm intensity table (mm/hour) - www.bom.gov.au/http://www.bom.gov.au/water/designRainfalls

PREDEVELOPMENT				POSTDEVELOPMENT (PUMP. CHAMBER)			
Design ARI =		5		Design ARI =		20	
Design duration =		5		Design duration =		5	
Design storm intensity (mm/hr) =		81.9		Design storm intensity (mm/hr) =		123	
Catchments	Area	C	Detained	Catchments	Area	C	Detained
Roof	355	0.9	0	Roof	550	0.9	60
Paving	250	0.75	0	Paving	206	0.75	100
Landscaping	431	0.3	0	Landscaping	280	0.15	100
FF =	0.95			FF =	1.05		
Cw =	0.58			Cw =	0.70		
Max predevelopment flow				Note: if detained = 0 then no pumping required			
Roof	6.91	l/s		Pump Cham.	Undetained	Detained	
Paving	4.05	l/s		Roof	7.10	10.65	l/s
Landscaping	2.79	l/s		Paving	0.00	5.54	l/s
Max Q =	13.75	l/s		Landscaping	0.00	1.51	l/s

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Stormwater calculations - Detention design

Site: **48th Sixth Avenue, St Peters**
Date: 2/20/2025
Ref: 7155

Pump chamber design

Tc (time of concentration)

Design storm AIR (yr) 20
Design storm duration (mins) 5
Design storm intensity (mm/hr) 123
Design flow distance (m) 35
Surface roughness coefficient 0.04
Average design slope 0.01

$$Tc = 6.94 \times \frac{(L.n)^{0.6}}{I^{0.4} \times S^{0.3}}$$

Tc = 5.00 mins

Flowrates detained by pumping chamber

(if 0 then no detained surface water)
(i.e. no pumping chamber required)

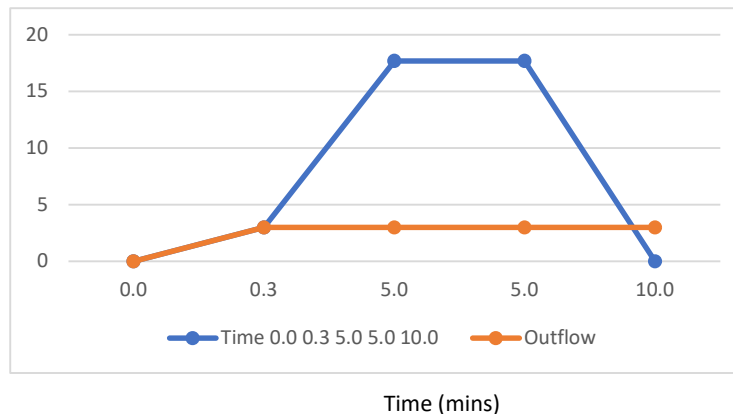
Roof 10.65 l/s
Paving 5.54 l/s
Landscaping 1.51 l/s

Trial pump rate = 3 l/s

Time	Inflow	Outflow
0.0	0	0
0.3	3	3
5.0	17.70	3
5.0	17.70	3
10.0	0	3

Volume = 3562.13 Ltr

Flow Q (l/s)



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Stormwater calculations - Detention design

Site: **48th Sixth Avenue, St Peters**
Date: 2/20/2025
Ref: 7155

Detention tank design

Tc (time of concentration)

Design storm AIR (yr) 20
Design storm duration (mins) 5
Design storm intensity (mm/hr) 123.0

Tc run off = 5 mins Predev flow = 13.75 l/s

Flowrates detained by detention tank

Roof 7.10 l/s
Paving 0.00 l/s
Landscaping 0.00 l/s

Undetained Flow from proposed development

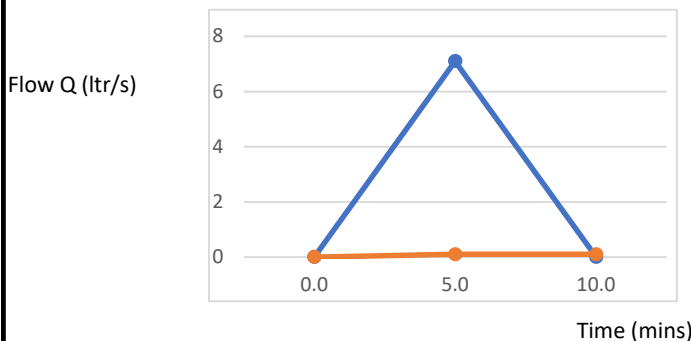
Roof 10.65 l/s
Paving 0.00 l/s
Landscaping 0.00 l/s
Allowable Q = 0.10 l/s (pre - undetained-pump)

Limit outflow using orifice size

Orifice size = 25 mm H = 1.65 m
Area = 490.86 mm² G = 9.81
C = 0.60
Max flow = 1.68 l/s (using orifice size)
Max flow = 0.10 l/s (min of limited outflow and allowable Q)

Time	Inflow	Outflow
0.0	0	0
5.0	7.10	0.10
10.0	0.00	0.10

TC1 = 0.00
TC2 = 9.93
Volume = 2087.45 LTR



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Stormwater calculations - Detention design

Site: **48th Sixth Avenue, St Peters**
 Date: 2/20/2025
 Ref: 7155

Detention tank design

Tc (time of concentration)

Design storm AIR (yr) 20
 Design storm duration (mins) 10
 Design storm intensity (mm/hr) 91.3

Tc run off = 5 mins Predev flow = 13.75 l/s

Flowrates detained by detention tank

Roof 5.27 l/s
 Paving 0.00 l/s
 Landscaping 0.00 l/s

Undetained Flow from proposed development

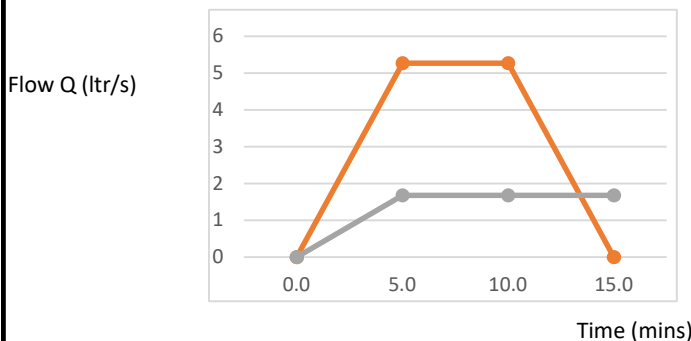
Roof 7.91 l/s
 Paving 0.00 l/s
 Landscaping 0.00 l/s
 Allowable Q = 2.84 l/s (pre - undetained-pump)

Limit outflow using orifice size

Orifice size = 25 mm H = 1.65 m
 Area = 490.86 mm² G = 9.81
 C = 0.60
 Max flow = 1.68 l/s (using orifice size)
 Max flow = 1.68 l/s (min of limited outflow and allowable Q)

Time	Inflow	Outflow
0.0	0	0
5.0	5.27	1.68
10.0	5.27	1.68
15.0	0.00	1.68

TC1 = 0.00
 TC2 = 13.41
 Volume = 1986.6453 LTR



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Stormwater calculations - Detention design

Site: **48th Sixth Avenue, St Peters**
Date: 2/20/2025
Ref: 7155

Detention tank design

Tc (time of concentration)

Design storm AIR (yr) 20
Design storm duration (mins) 20
Design storm intensity (mm/hr) 62.8

Tc run off = 5 mins Predev flow = 13.75 l/s

Flowrates detained by detention tank

Roof 3.63 l/s
Paving 0.00 l/s
Landscaping 0.00 l/s

Undetained Flow from proposed development

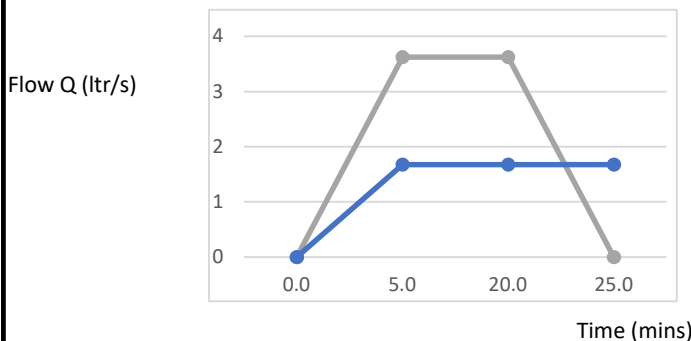
Roof 5.44 l/s
Paving 0.00 l/s
Landscaping 0.00 l/s
Allowable Q = 5.31 l/s (pre - undetained-pump)

Limit outflow using orifice size

Orifice size = 25 mm H = 1.65 m
Area = 490.86 mm² G = 9.81
C = 0.60
Max flow = 1.68 l/s (using orifice size)
Max flow = 1.68 l/s (min of limited outflow and allowable Q)

Time	Inflow	Outflow
0.0	0	0
5.0	3.63	1.68
20.0	3.63	1.68
25.0	0.00	1.68

TC1 = 0.00
TC2 = 22.69
Volume = 2205.9659 LTR



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ABN: 97 144 898 304
ACN: 144 898 304

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& ASSOCIATES
CONSULTING ENGINEERS
www.anzas.com.au



Stormwater calculations - Detention design

Site: **48th Sixth Avenue, St Peters**
Date: 2/20/2025
Ref: 7155

Detention tank design

Tc (time of concentration)

Design storm AIR (yr) 20
Design storm duration (mins) 30
Design storm intensity (mm/hr) 49.5

Tc run off = 5 mins Predev flow = 13.75 l/s

Flowrates detained by detention tank

Roof 2.86 l/s
Paving 0.00 l/s
Landscaping 0.00 l/s

Undetained Flow from proposed development

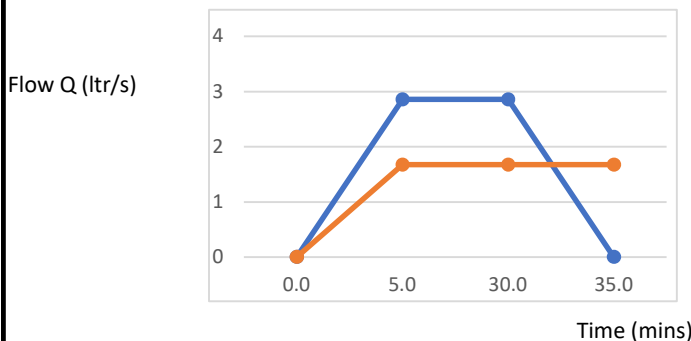
Roof 4.29 l/s
Paving 0.00 l/s
Landscaping 0.00 l/s
Allowable Q = 6.46 l/s (pre - undetained-pump)

Limit outflow using orifice size

Orifice size = 25 mm H = 1.65 m
Area = 490.86 mm² G = 9.81
C = 0.60
Max flow = 1.68 l/s (using orifice size)
Max flow = 1.68 l/s (min of limited outflow and allowable Q)

Time	Inflow	Outflow
0.0	0	0
5.0	2.86	1.68
30.0	2.86	1.68
35.0	0.00	1.68

TC1 = 0.00
TC2 = 32.07
Volume = 2025.2278 LTR



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Stormwater calculations - Detention design

Site: **48th Sixth Avenue, St Peters**
Date: 2/20/2025
Ref: 7155

Detention tank design

Tc (time of concentration)

Design storm AIR (yr) 20
Design storm duration (mins) 60
Design storm intensity (mm/hr) 32.5

Tc run off = 5 mins Predev flow = 13.75 l/s

Flowrates detained by detention tank

Roof 1.88 l/s
Paving 0.00 l/s
Landscaping 0.00 l/s

Undetained Flow from proposed development

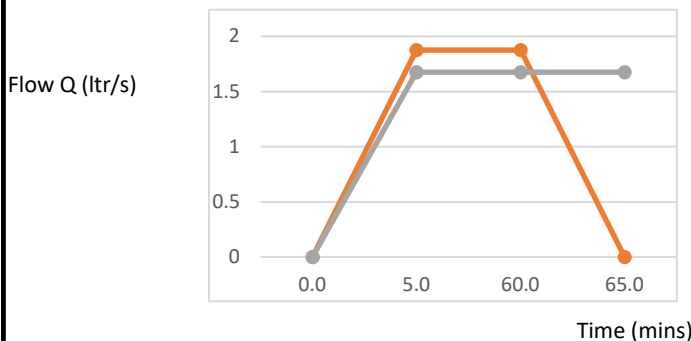
Roof 2.82 l/s
Paving 0.00 l/s
Landscaping 0.00 l/s
Allowable Q = 7.94 l/s (pre - undetained-pump)

Limit outflow using orifice size

Orifice size = 25 mm H = 1.65 m
Area = 490.86 mm² G = 9.81
C = 0.60
Max flow = 1.68 l/s (using orifice size)
Max flow = 1.68 l/s (min of limited outflow and allowable Q)

Time	Inflow	Outflow
0.0	0	0
5.0	1.88	1.68
60.0	1.88	1.68
65.0	0.00	1.68

TC1 = 0.00
TC2 = 60.54
Volume = 697.2406 LTR



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Stormwater calculations - Detention design

Site: **48th Sixth Avenue, St Peters**
Date: 2/20/2025
Ref: 7155

Detention tank design

Tc (time of concentration)

Design storm AIR (yr) 20
Design storm duration (mins) 120
Design storm intensity (mm/hr) 21.2

Tc run off = 5 mins Predev flow = 13.75 l/s

Flowrates detained by detention tank

Roof 1.22 l/s
Paving 0.00 l/s
Landscaping 0.00 l/s

Undetained Flow from proposed development

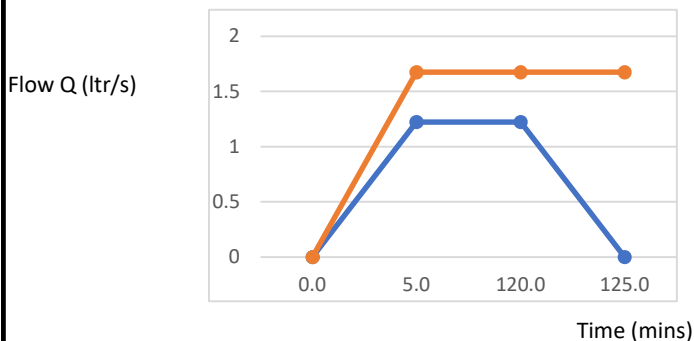
Roof 1.84 l/s
Paving 0.00 l/s
Landscaping 0.00 l/s
Allowable Q = 8.92 l/s (pre - undetained-pump)

Limit outflow using orifice size

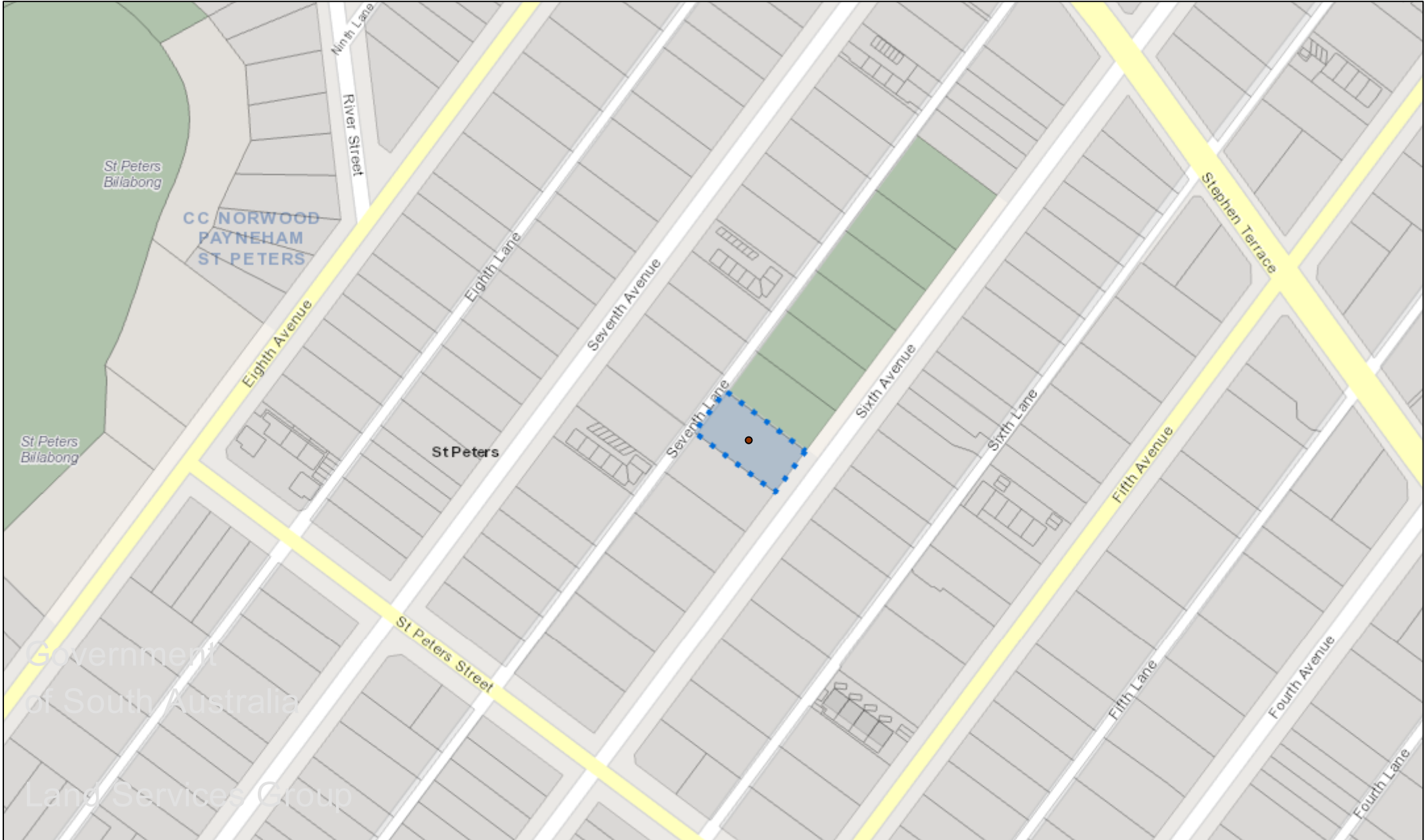
Orifice size = 25 mm H = 1.65 m
Area = 490.86 mm² G = 9.81
C = 0.60
Max flow = 1.68 l/s (using orifice size)
Max flow = 1.68 l/s (min of limited outflow and allowable Q)

Time	Inflow	Outflow
0.0	0	0
5.0	1.22	1.68
120.0	1.22	1.68
125.0	0.00	1.68

TC1 = 0.00
TC2 = 118.16
Volume = -3157.5 LTR



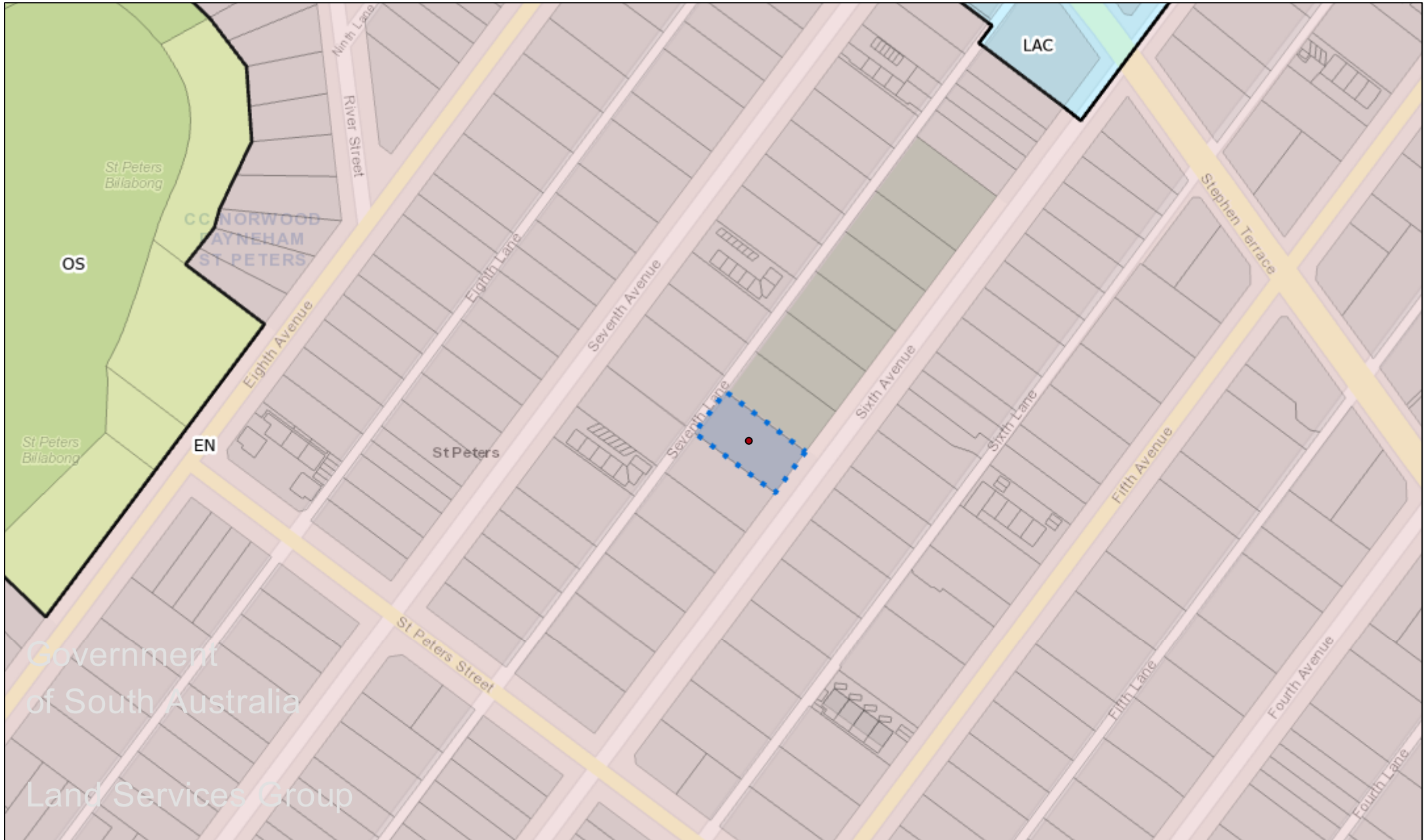
Subject Land Map



LEGEND:

- EN - Established Neighbourhood Zone
- LAC - Local Activity Centre Zone
- OS - Open Space Zone

Zoning Map



Government of South Australia
Land Services Group

SAPPA Report

The SA Property and Planning Atlas is available on the Plan SA website: <https://sappa.plan.sa.gov.au>

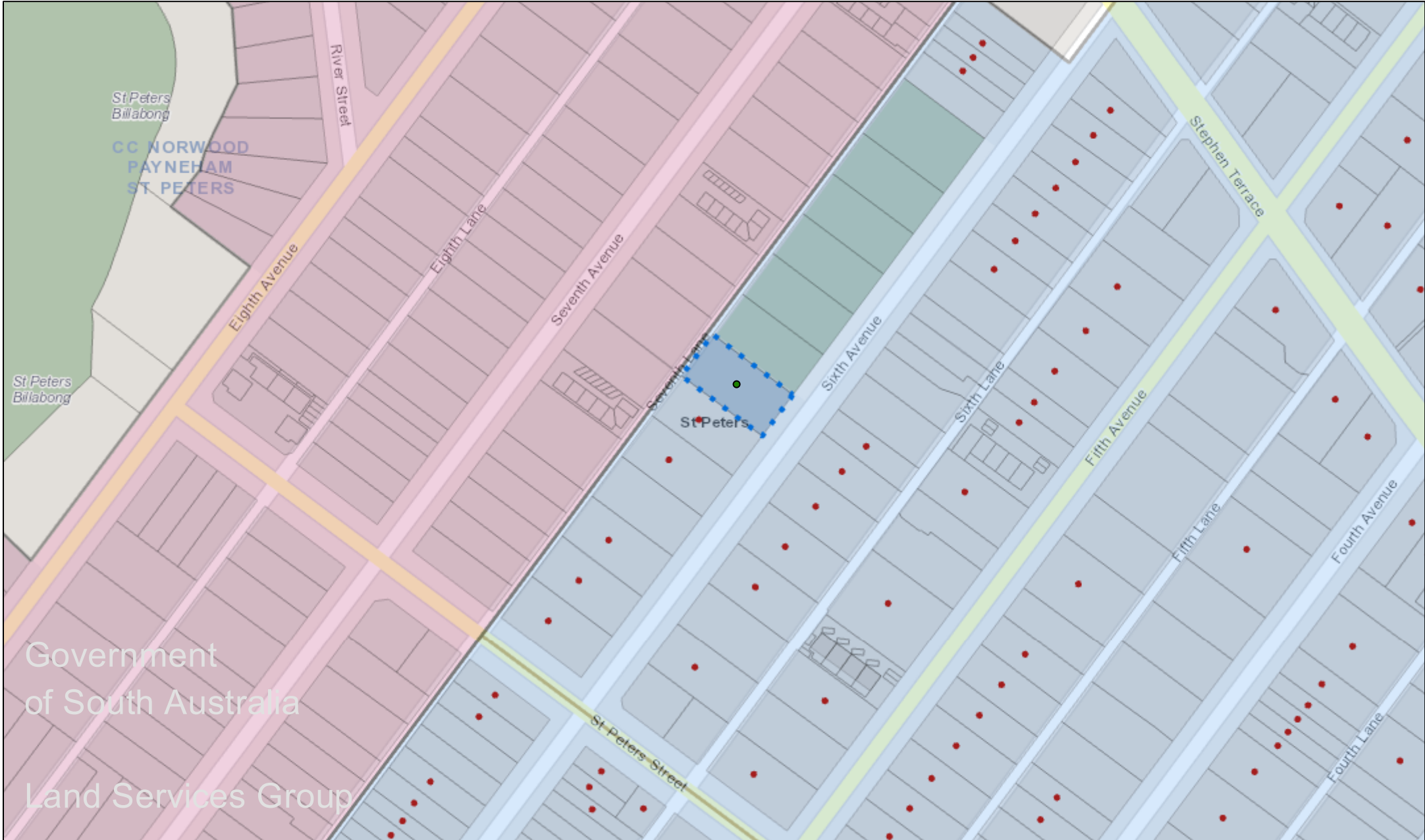
Overlay Map

LEGEND:

Blue - Historic Area Overlay

Pink - Character Area Overlay

Attachment 3

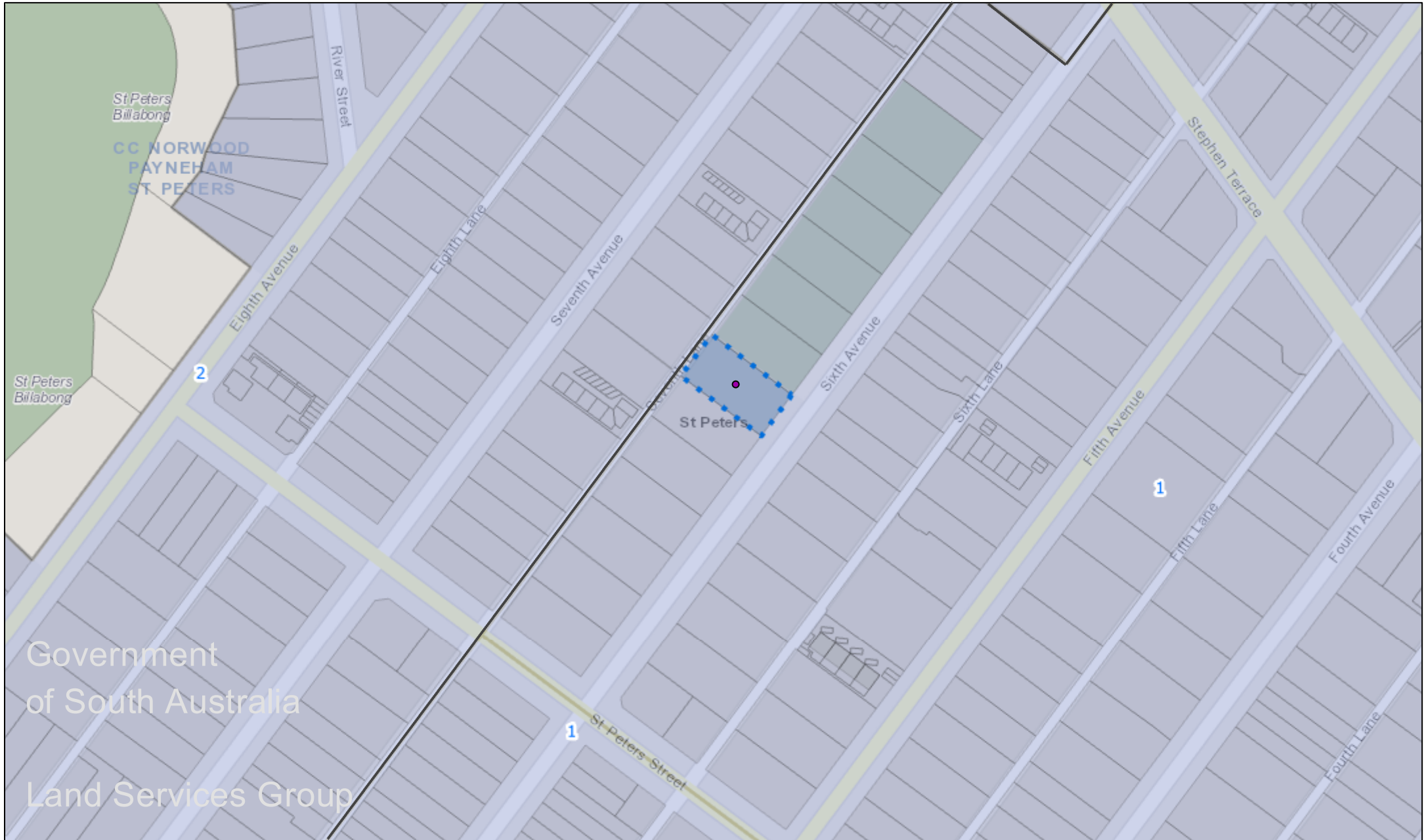


Disclaimer: The information provided above, is not represented to be accurate, current or complete at the time of printing this report. The Government of South Australia accepts no liability for the use of this data, or any reliance placed on it.

SAPPA Report

The SA Property and Planning Atlas is available on the Plan SA website: <https://sappa.plan.sa.gov.au>

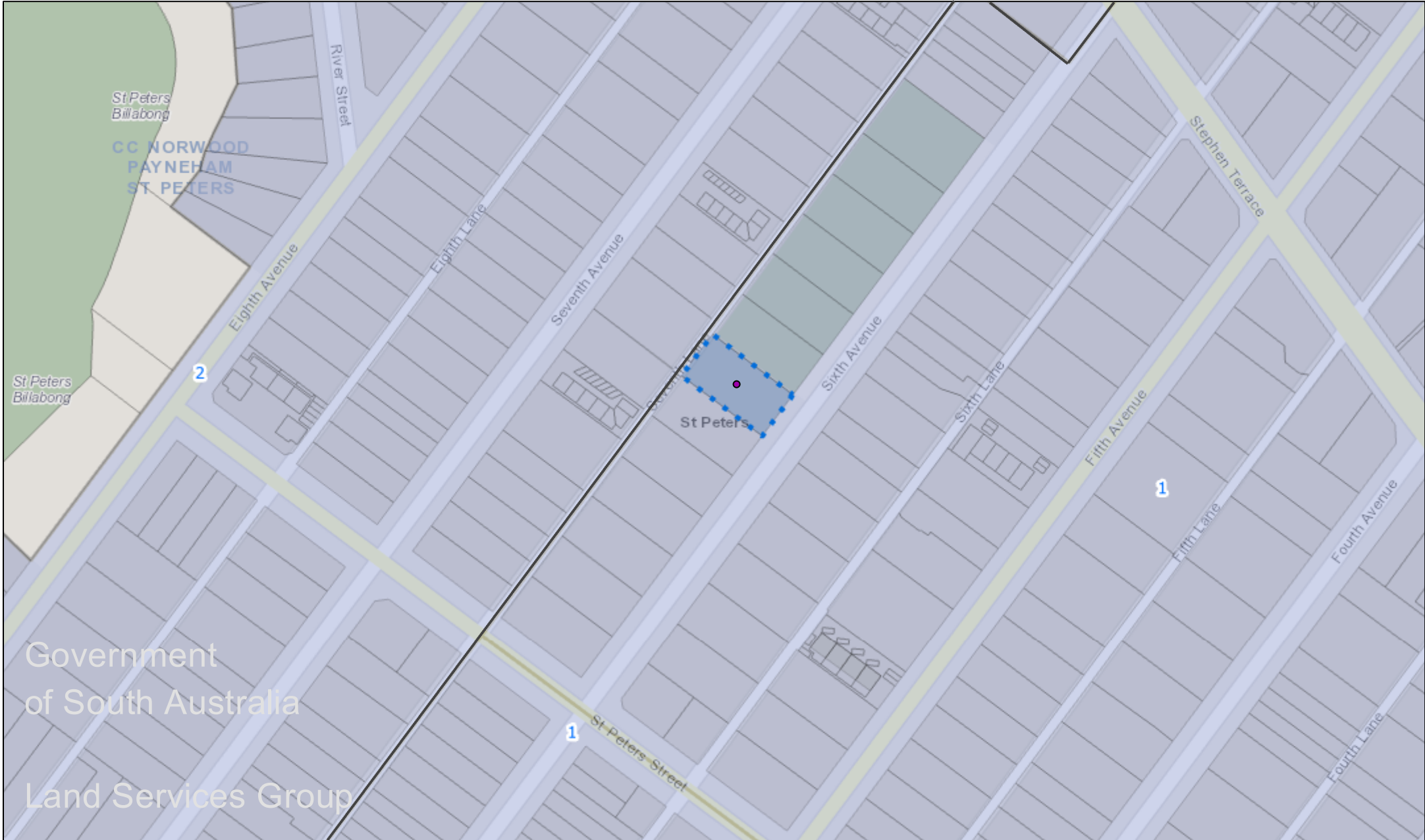
TNV Map



Overlay Map



TNV Map



SAPPA Report

The SA Property and Planning Atlas is available on the Plan SA website: <https://sappa.plan.sa.gov.au>

Representations Map

Out of Map Area:

- Representor 4 (12 St Peters Street)

Attachment 4



Government
of South Australia
Land Services Group

Application Summary

Application ID	24032150
Proposal	Demolition of existing dwelling and the construction of a two-storey detached dwelling and masonry front fence
Location	48 SIXTH AV ST PETERS SA 5069

Representations

Representor 1 - Karen James

Name	Karen James
Address	49b sixth avenue SAINT PETERS SA, 6067 Australia
Submission Date	29/11/2024 07:26 AM
Submission Source	Online
Late Submission	No
Would you like to talk to your representation at the decision-making hearing for this development?	No
My position is	I oppose the development
Reasons	
Until I can see the plan I don't have a decision either way	

Attached Documents

Representor 2 - David Cardone

Name	David Cardone
Address	46 SIXTH AVENUE ST PETERS SA, 5069 Australia
Submission Date	03/12/2024 03:12 PM
Submission Source	Email
Late Submission	No
Would you like to talk to your representation at the decision-making hearing for this development?	Yes
My position is	I oppose the development
Reasons Please refer to the attached email	

Attached Documents

Rep-EmailAndDocument-DavidCardone-Da24032150-48SixthAveStPeters-9926206.pdf

REPRESENTATION ON APPLICATION

Planning, Development and Infrastructure Act 2016

Applicant:	ThreeSixFive Studio
Development Number:	24032150
Nature of Development:	Demolition of existing dwelling and construction of a two-storey detached dwelling and masonry front fence
Zone/Sub-zone/Overlay:	Established neighbourhood zone
Subject Land:	48 Sixth Ave, St Peters . Title CT5759/421. Plan parcel D796AL597
Contact Officer:	Assessment Panel/Assessment Manager at City of Norwood, Payneham and St. Peters
Phone Number:	08 83664530
Close Date:	19/12/2024

My name*: David Cardone	My phone number:
My postal address*: 46 Sixth Ave, St Peters	My email:

* Indicates mandatory information

My position is:

I support the development

I support the development with some concerns (detail below)

I oppose the development

The specific reasons I believe that consent should be refused are:

The subject site (48 Sixth Ave, St Peters) is zoned **Established Neighbourhood**, and a number of **Technical Numerical Variations (TNVs)** apply, including a maximum site coverage of 50%, and maximum one level building height, clearly recognising the low scale, historic buildings in the locality, set within landscaped grounds with established trees.

The proposed dwelling clearly exceeds the maximum site coverage (more than 53% proposed) and exceeds the maximum building height (2 levels proposed).

Exceeding the maximum building height results in significant impacts on the character of the locality, as well as amenity impacts on my property, adjoining to the south-west.

Continued over page.....



The proposal does not meet the following provisions of the **Established Neighbourhood Zone:**
(DO = desired outcome, PO = performance outcome, DPF = Designated Performance Feature)

DO 1 A neighbourhood that includes a range of housing types, with new buildings sympathetic to the predominant built form character and development patterns.

The design and appearance of the proposed new building is not sympathetic to the predominant built form character, that is primarily comprised of historic villas with pitched roofs. Any modern additions are generally not visible at the rear of the original historic fabric of the dwellings.

PO 3.1 Building footprints are consistent with the character and pattern of the neighbourhood and provide sufficient space around buildings to limit visual impact, provide an attractive outlook and access to light and ventilation.

DPF 3.1 Development does not result in a site coverage exceeding (50%)

The proposed site coverage exceeds 50%, with a large building footprint that is not consistent with the neighbourhood pattern.

PO 4.1 Buildings contribute to the prevailing character of the neighbourhood and complements the height of nearby buildings.

DPF 4.1 Building height (excluding garages, carports and outbuildings) is no greater than....(maximum building height is 1 level)

The building clearly exceeds the maximum one level building height.

PO 8.1 Buildings are set back from side boundaries to provide:

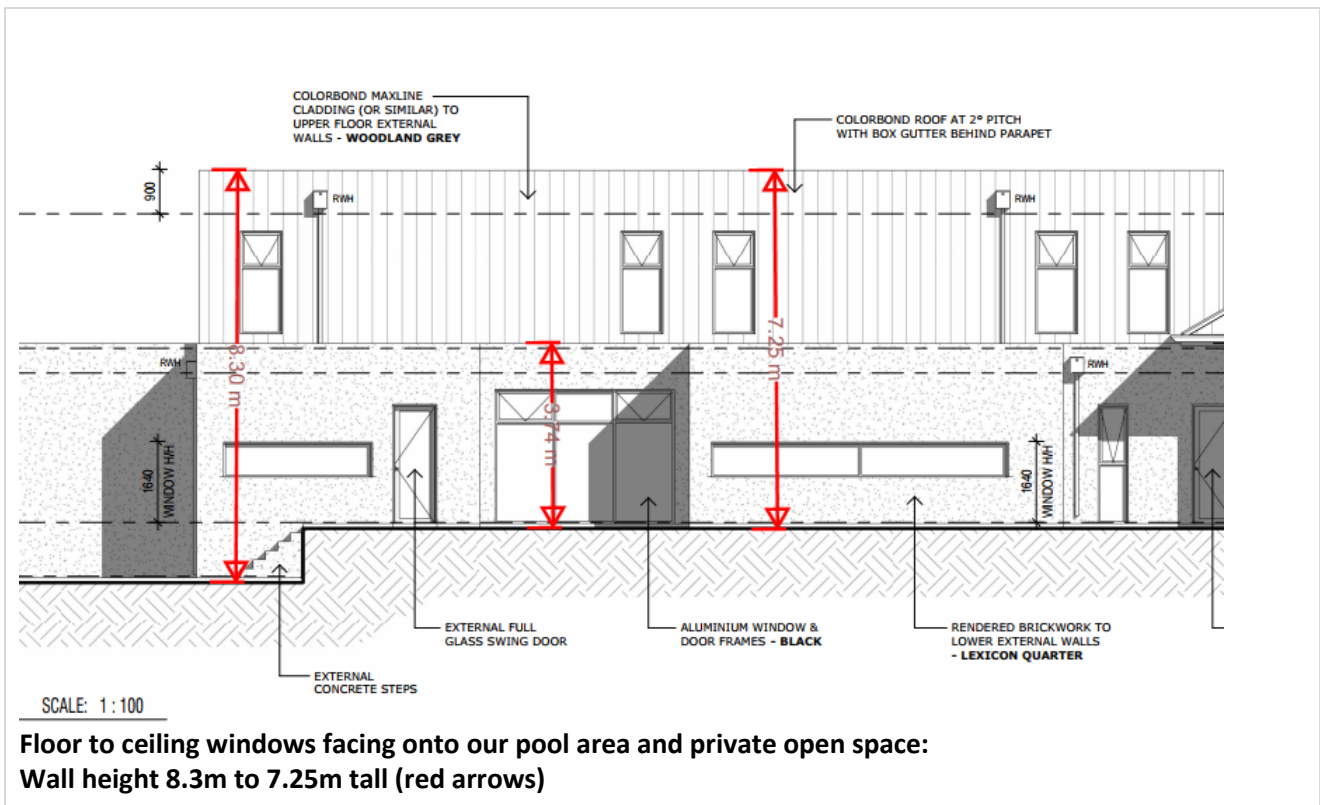
- a. *separation between buildings in a way that complements the established character of the locality*
- b. *access to natural light and ventilation for neighbours.*

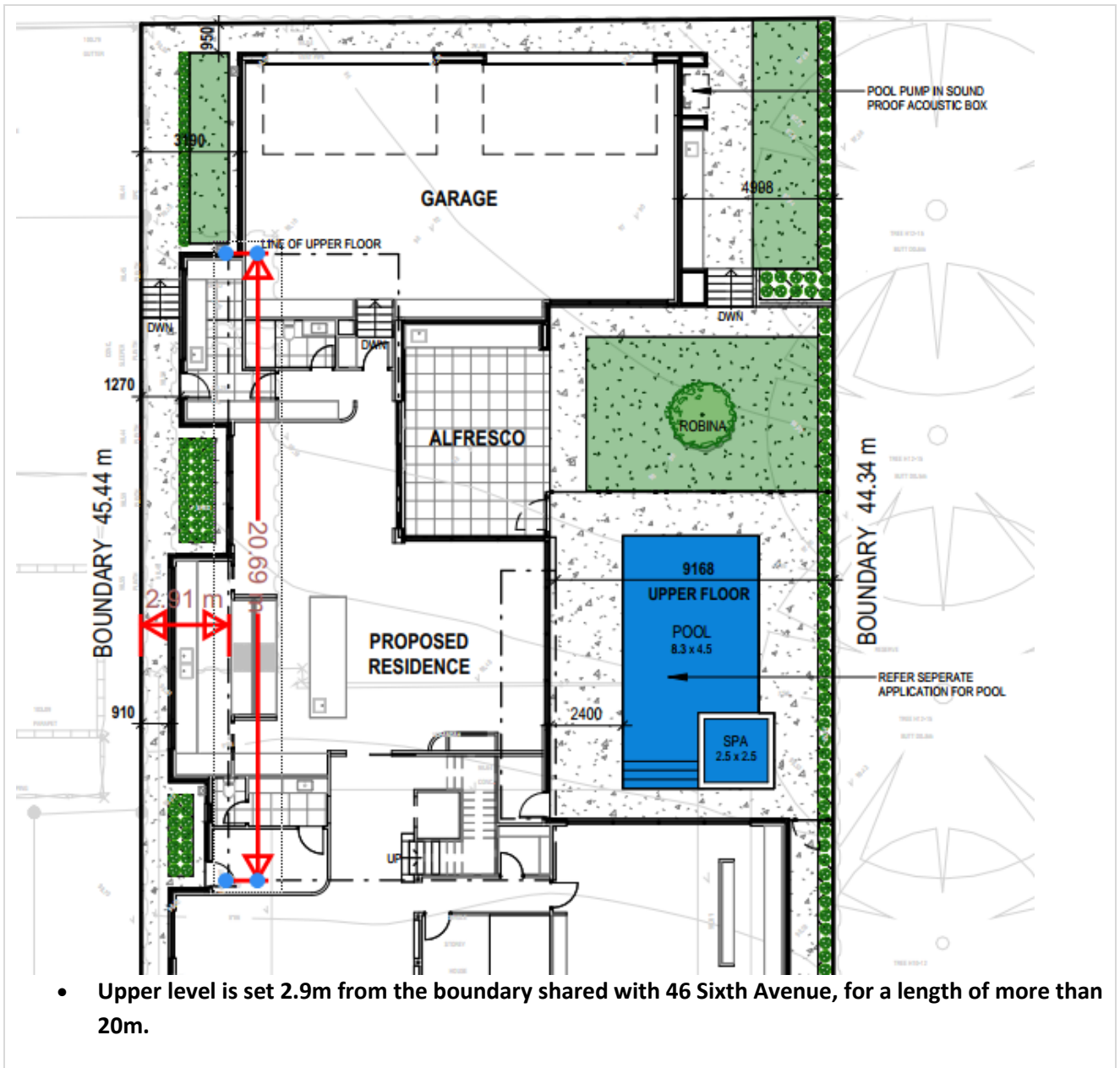
DPF 8.1 Other than walls located on a side boundary in accordance with Established Neighbourhood Zone DTS/DPF 7.1, building walls are set back from the side boundary:

2. *in all other cases (i.e., there is a blank field), then:*
- a. *where the wall height does not exceed 3m measured from the lower of natural or finished ground level - at least 900mm*
 - b. *for a wall that is not south facing and the wall height exceeds 3m measured from the lower of natural or finished ground level - at least 900mm from the boundary of the site plus a distance of 1/3 of the extent to which the height of the wall exceeds 3m from the lower of natural or finished ground level*
 - c. *for a wall that is south facing and the wall height exceeds 3m measured from the lower of natural or finished ground level - at least 1.9m from the boundary of the site plus a distance of 1/3 of the extent to which the height of the wall exceeds 3m from the lower of natural or finished ground level.*

We particularly object to the height and extent of the proposed side boundary wall that faces our northern boundary. The setback requirements of DPF 8.1 (2)(c) applies (**highlighted above**). At ground floor level, the height of the proposed side wall exceeds 3m. A side boundary setback of between 910mm (ground level) and 3.19m (upper level) is proposed, adjacent to our side boundary. The ground floor level should be set back at least 1.9m from the side boundary, and the upper level set back at least 3.3m (wall height of 7.25m proposed, 4.25m of the wall is above 3m, $1/3$ of 4.25m = 1.42m, 1.9m + 1.42m = 3.3m). We note that a portion of the wall is 8.3m in height, and should therefore be setback even further from our side boundary.

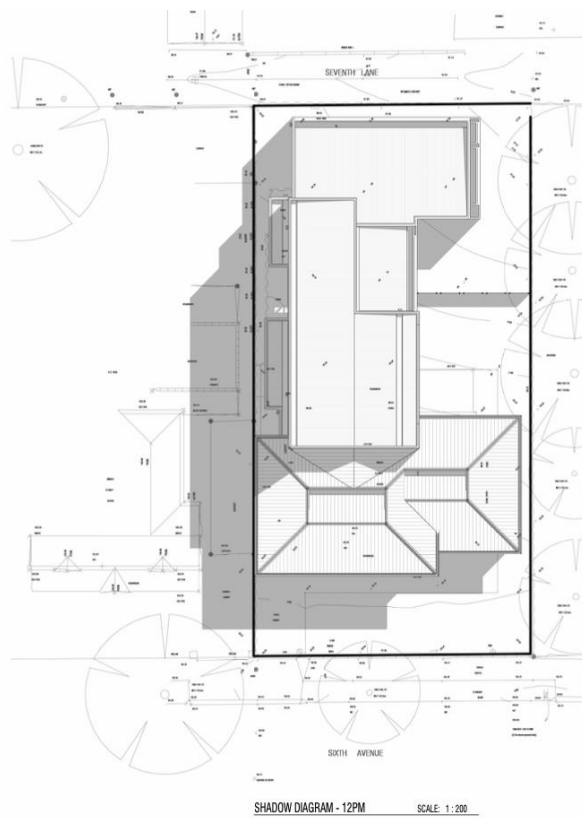
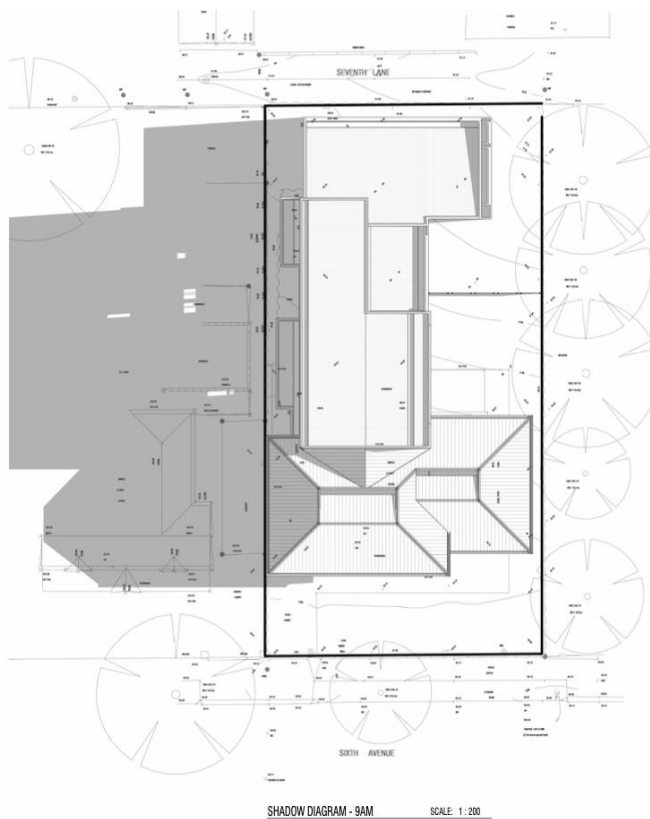
Notwithstanding the setback proposed, we also object to the length of two storey wall adjacent to our boundary of more than 20m, visible for the full extent of our rear private yard and swimming pool. This results in a significant visual impact, as well as unreasonable overshadowing of our yard and pool, as illustrated in the shadow diagrams submitted that show our back yard in shadow for most of the day in mid-winter. The upper level windows include floor to ceiling glass that will allow clear views from the upper level into our private rear yard and swimming pool.







The northerly aspect of our back yard will be significantly overshadowed by the 7.25m wall along the boundary. Photo taken 9:28am 2/12/24.



PO 10.2 The appearance of development as viewed from public roads is sympathetic to the wall height, roof forms and roof pitches of the predominant housing stock in the locality.

The second storey is clearly visible from the public road (and adjoining public open space) and does not reflect the visible, historic pitched roof forms that are visible along Sixth Avenue.

Historic Area Overlay (NSPS20)

The site and surrounds is within the Historic Area Overlay (NSPS20), recognising the unique historic character of the locality, as expressed in the Historic Area Statement.

The Desired Outcome of the Historic Area Overlay seeks development that is contextually responsive to the existing streetscapes, building siting, building scale, form and features that exist in the Historic Area, and expressed in the Historic Area Statement. New development should consider the historic streetscapes and built form expressed in the Historic Area Statement (PO 1.1), and be consistent with the prevailing building and wall heights in the historic area (PO 2.2).

While it is accepted that the existing dwelling is not a ‘representative building’ and therefore could be demolished and replaced, we do not agree that the proposed replacement dwelling is appropriate in the context of existing development in the locality and the character values expressed in the Historic Area Statement. In particular, the scale and site coverage of the dwelling (exceeding 50%) and the height of the building (2 storeys and up to 8.3m in height) is clearly contrary to the predominantly single storey character of the area. While there is an example of two storey development nearby (49 Sixth Avenue), this is not typical of the historic locality, nor would it meet current planning policies (particularly the TNV – maximum one level). Where there are modern rear additions to representative buildings in the locality, these two storey additions are well set back from street, are barely visible from the public domain and are of a much smaller scale than the proposed two storey dwelling.

In addition, the subject site adjoins an area of public open space that is enjoyed by all residents in the area. The large two storey element of the proposed dwelling will clearly be visible from the public open space (Burchell Reserve). This is clearly contrary to PO 2.1 of the Historic Area Overlay, which seeks that *“The form and scale of new buildings and structures that are visible from the public realm are consistent with the prevailing historic characteristics of the historic area”*. The prevailing historic characteristics of the historic area is clearly not modern two storey development.

[attach additional pages as needed]

Note: In order for this submission to be valid, it must:

- be in writing; and
- include the name and address of the person (or persons) who are making the representation; and
- set out the particular reasons why consent should be granted or refused; and
- comment only on the performance-based elements (or aspects) of the proposal, which does not include the:
 - [Click here to enter text.](#) *[list any accepted or deemed-to-satisfy elements of the development].*

I:	<input checked="" type="checkbox"/> wish to be heard in support of my submission*
	<input type="checkbox"/> do not wish to be heard in support of my submission
By:	<input checked="" type="checkbox"/> appearing personally
	<input type="checkbox"/> being represented by the following person: Click here to enter text.

**You may be contacted if you indicate that you wish to be heard by the relevant authority in support of your submission*

Signature: David Cardone

Date: 02/12/24

Return Address: [Click here to enter text.](#) *[relevant authority postal address]* or

Email: developmentassessment@npsp.sa.gov.au

Complete online submission: plan.sa.gov.au/have_your_say/notified_developments

Representor 3 - Susan Ide

Name	Susan Ide
Address	45 Sixth Avenue ST PETERS SA, 5069 Australia
Submission Date	17/12/2024 04:09 PM
Submission Source	Online
Late Submission	No
Would you like to talk to your representation at the decision-making hearing for this development?	No
My position is	I oppose the development

Reasons

1. The proposed development is imposing to both the neighbours to the southern side and also adjoining reserve. The southern boundary is a monolithic wall which is close to the boundary and is not sympathetic to the neighbours or heritage houses in this zone. 2. The new building alignment extends from the front of the house to the rear of the allotment at a height of 7.3m-8.3m. This wall is only 900mm from the boundary in some places. Consequently the impact of the shadow on the neighbouring property only cease to be after about 3pm. 3. The proposed dwelling has an enormous footprint on the block leaving little open space unlike adjoining villas. 4. There are numerous second story windows that overlook the neighbour's pool and private back yard. These windows will be quite intimidating and result in loss of privacy. 5. This structure is not in keeping with historic houses in the area. We are concerned that this inappropriate dwelling may be used as a standard for future developments.

Attached Documents

Representor 4 - St Peters Residents Association

Name	St Peters Residents Association
Address	12 ST PETERS STREET ST PETERS SA, 5069 Australia
Submission Date	19/12/2024 05:38 PM
Submission Source	Email
Late Submission	No
Would you like to talk to your representation at the decision-making hearing for this development?	Yes
My position is	I oppose the development
Reasons See attached submission	

Attached Documents

SubmissionFromStPetersResidentsAssociation-10083630.pdf

The Authorised Officer,
Planning Department
Norwood Payneham and St. Peters Council

Dear Sir,

**Development Application 24032150: Demolition of existing dwelling
and construction of a 2-storey detached dwelling and masonry front fence**

Built Scale and Form

This development application presents as a single storey detached dwelling to the streetscape. However the large obtrusive 2-storey rear two thirds of the proposed dwelling extends over much of the length of the site to the four-car garage facing the rear laneway. Virtually from the front of the proposed house to the rear fence is built over.

The proposed dwelling has four bedrooms all with ensuites, three of them upstairs. There is also an upstairs “retreat” plus kitchenette. It has a home theatre, office and prayer room plus bathroom downstairs.

Our Association submits that the large flat-roofed shipping container design of the 2-storey component of this dwelling as well, as its bulk and scale, is not appropriate in the Established Neighbourhood Zone, Historic Overlay Area.

Councillors and our Association have received numerous complaints from horrified residents over the years about the unsympathetic nature of many two storey portions of dwellings, particularly in Historic Overlay areas. We have been told by distressed residents who have to live alongside what they consider to be monstrosities that “this would not be allowed in other countries in historic areas”. A petition has also been presented to council on this issue.

Desired Outcome 1 for the Historic Overlay Area in the Planning and Design Code states that –

“Historic themes and characteristics are reinforced through conservation and contextually responsive development, design, and adaptive reuse that responds to existing coherent patterns of land division, site configuration, streetscapes, building siting and built scale, form and features as exhibited in the Historic Area and expressed in the Historic Area Statement”.

(underlining added)

Performance Outcome 2.1 states –

“The form and scale of new buildings and structures that are visible from the public realm are consistent with the prevailing historic characteristics of the historic area.”

In this case, the public realm includes Sixth Avenue and Burchell Reserve. The view of the proposed dwelling as viewed from the north-east side of the site will be of one huge building structure and mass. This will be hugely inconsistent with the “prevailing historic characteristics of the historic area”, as required by PO 2.1.

Performance Outcome 2.4 states –

“Development is consistent with the prevailing front and side boundary setback pattern in the historic area”.

We question whether side setbacks of 910 cms (south west side) and 143 cms (north east side) conform to the prevailing pattern in this historic area.

Landscaping

Our Association submits that there is minimal space for landscaping at the rear of the proposed dwelling. While the submitted plans claim that soft landscaping will comprise 256.84m² or 24.72% of the site, the line of shrubs suggested for the entire north-eastern boundary in a narrow strip of some 40 cms appears fanciful and unlikely to eventuate. Similarly the two proposed strips of landscaping squeezed in either side of the 4 car garage appear to be more likely to end up as storage areas rather than landscaped beds.

The Historic Area Statement states –

“Landscaping around a dwelling, particularly in the front gardens, is an important design element in St. Peters ...”

Let us hope that plastic lawn is not installed in the “landscaping area” marked green next to the swimming pool on the plans. The Panel could impose a condition of consent to ensure that this does not occur.

The Robina tree proposed to be planted in the landscaped area marked out next to the swimming pool may be unlikely to survive once the owner realises that it drops leaves into his swimming pool. Proposed landscaping needs to be practical and realistic with a reasonable chance of survival, not shoe-horned into unlikely spots.

Stormwater

The development site is next to Burchell Reserve which has recently been upgraded with an underground stormwater tank installed and a surface level swale to cope with some seasonal flooding. We submit that the proposed swimming pool may raise

stormwater disposal/potential flooding issues which required careful consideration. It may be that a swimming pool is not appropriate for this locality with its history of flooding problems.

Our Association urges the Panel to reject this development application.

Thank you for the opportunity to make a submission. We do/do not wish to be heard in person at the scheduled meeting.

Yours truly

etc.

Representor 5 - Helen Mercorella

Name	Helen Mercorella
Address	42 Sixth Ave ST PETERS SA, 5069 Australia
Submission Date	19/12/2024 11:58 PM
Submission Source	Online
Late Submission	No
Would you like to talk to your representation at the decision-making hearing for this development?	No
My position is	I support the development with some concerns
Reasons The plans are not available online!	

Attached Documents



Town Planning Specialists | Planning Private Certifiers

Kieran Fairbrother
Senior Urban Planner
Development Services

By Email: kfairbrother@npsp.sa.gov.au

RE: Response to Representation

Development Application Number: DA 24032150
Proposed Development: Demolition of existing dwelling and the construction of a two-storey detached dwelling and masonry front fence
Subject Land: 48 Sixth Avenue St Peters SA 5069

1.0 Introduction

Adelaide Planning and Development Solutions (APDS) has been engaged by the applicant to provide a response to the representations received following public notification of a Performance Assessed development application at 48 Sixth Avenue St Peters, which is within the Established Neighbourhood Zone.

In preparing this response, I confirm that I have visited the subject land and locality, had regard to the representations and the relevant Assessment Provisions of the SA Planning and Design Code.

This response should be considered in addition to the Proposal Plans and relevant information provided to Council which all form part of the application documentation.

For the reasons I will detail below, I am of the view that the proposal for the 'Demolition of existing dwelling and the construction of a two-storey detached dwelling and masonry front fence' results in a development which warrants Planning Consent.

Town Planning Specialists | Planning Private Certifiers

2.0 Representation

During the public notification period, five (5) representations were received, four (4) of which were against the proposal, with one (1) in support (with concerns). Of the five (5) representations received, three (3) have indicated they would like to talk to their representation at the decision-making hearing. The table below provides details of the name of the representor, their address, whether they wish to be heard and whether they support or oppose the proposal.

Name of representor	Address of representor	Wishes to be heard by CAP	In support or opposing
Karen James	49b Sixth Avenue St Peters	No	Oppose the development
David Cardone	46 Sixth Avenue St Peters	Yes	Oppose the development
Susan Ide	45 Sixth Avenue St Peters	No	Oppose the development
St Peters Residents Association C/O Evonne Moore	12 St Peters Street St Peters	Yes	Oppose the development
Helen Mercorella	42 Sixth Avenue St Peters	No	Support the development (with some concerns)

3.0 Consideration of representations

Having reviewed the representations, the concerns raised specifically relate to:

- Site Coverage
- Building Height (including two level design)
- Design of dwelling / Bulk and scale
- Potential for overshadowing
- Visibility of upper level from both Sixth Avenue Streetscape and Burchell Reserve.
- Overlooking
- Landscaping
- Stormwater disposal/Flooding resulting from swimming pool



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4.0 Approach to Assessment

Part 1 – Rules of Interpretation of the Planning and Design Code (the Code) provides clarity on how to interpret the policies in the Code. Of particular note ‘Designated Performance Features’ (DPF) assist Councils to interpret Performance Outcomes (PO).

The Rules of Interpretation clearly state that a DPF provides a guide but does not need to necessarily be satisfied in order for a certain development to meet the PO i.e. the outcome can be met in another way:

In order to assist a relevant authority to interpret the performance outcomes, in some cases the policy includes a standard outcome which will generally meet the corresponding performance outcome (a designated performance feature or DPF). **A DPF provides a guide to a relevant authority as to what is generally considered to satisfy the corresponding performance outcome but does not need to necessarily be satisfied to meet the performance outcome and does not derogate from the discretion to determine that the outcome is met in another way, or from the need to assess development on its merits against all relevant policies** (emphasis added).

It is with the above assessment approach in mind that has guided this response to the representations.

5.0 Response to representations

5.1 Site Coverage

At least one of the representors raises concerns with the amount of site coverage proposed by the application, which covers 551.13m² of the 1039m² site, representing 53.04% coverage. Guidance on site coverage is found both within the Established Neighbourhood Zone PO 3.1 (and the corresponding DPF 3.1), and within the Historic Area Statement which state:

‘Building footprints are consistent with the character and pattern of the neighbourhood and provide sufficient space around buildings to limit visual impact, provide an attractive outlook and access to light and ventilation.’

And:

Setting, landscaping, streetscape and public realm features	Landscaping around a dwelling, particularly in the front garden, is an important design element.
---	--

Town Planning Specialists | Planning Private Certifiers

While the representor is correct in that the proposal exceeds quantitative maximum 50% site coverage outlined by DPF 3.1, there is still sufficient space around the dwelling (both within the front yard and beside the dwelling) to limit visual impact, provide an attractive outlook, maintain access to light and ventilation and for meaningful landscaping to be provided, consistent with PO 3.1 and the Historic Area Statement above. It is therefore considered that the proposal still achieves the qualitative requirements of the performance outcome and is overall consistent with the site coverage found on adjacent sites within the locality.

5.2 Building Height (including two level design)

Several representors also raise concerns over the dwellings two level design, and correctly note the departure from the TNV and policies within the Established Neighbourhood Zone, primarily PO 4.1. These representors fail to recognise however, as outlined by the Code rules of interpretation, that the provisions of an Overlay takes precedence over the Zone provisions. In this instance, the Historic Area Overlay directly refers to the Historic Area Statement by way of PO 1.1 which states:

'All development is undertaken having consideration to the historic streetscapes and built form as expressed in the Historic Area Statement.'

Within the Historic Area Statement, with reference to building height, states:

Building height	Predominantly single-storey, up to two storeys in some locations.
-----------------	---

No further detail is provided with relation to the specific circumstances that enable the construction of a two- storey built form in certain locations, however we note that the proposed two level dwelling is not the first two level intrusion within the immediate locality. Immediately across from the subject land, three examples of dwellings with two level additions are located, creating a pocket of two level development, as identified within Image 1 below:



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Image 1: Two level dwellings within the immediate locality, with the subject land identified in blue

While these dwellings are not outwardly two storey dwellings, the upper level is visible to the Sixth Avenue streetscape, as depicted by Image 2 below. Despite this, they do not detract from the streetscape, as is the case with the dwelling format proposed.



Image 2: adjacent two level dwellings

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Therefore, we contend that given the surrounding circumstances, that the subject land is a suitable location for a two storey development, as outlined within the Historic Area Statement and reinforced by PO 1.1 of the Historic Area Overlay.

5.3 Visibility of upper level from both Sixth Avenue Streetscape and Burchell Reserve / Bulk and scale

Continuing on the discussion above, several representors raise concerns with the visibility of the upper level, both from Sixth Avenue and Burchell Reserve within their representations. While we note these concerns, we believe them to be unfounded. Special care was taken during the design phase of the project to ensure that the upper floor would not be overly prominent within the streetscape, by setting it far behind the main roof form / face of the dwelling by way of providing an upper-level setback of 9.71 metres from the lower level. Furthermore, to reduce the impact of the upper level from Burchell Reserve, the dwelling (and upper level) is concentrated towards the south western boundary of the allotment, with a separation of between 9.168 and 14.35 metres from the north eastern boundary. Additional concealment of the upper level is provided by multiple large trees along this boundary, which further assists to reduce the visibility of the upper level from Burchell Reserve. Whilst we realise that aspects of the upper level will always be visible should someone specifically look for it, the visibility of the upper level is considered to be no more prominent than the existing examples of two level development on adjacent sites, with its corresponding bulk and scale presenting minimal impact to the streetscape or Burchell Reserve, with its visibility (from Burchell Reserve) less prominent than other two level additions as viewed from their rear laneways.

5.4 Design of dwelling / Streetscape Appearance

While only briefly touched on within one of the representations, the design of the primary facade of the dwelling and its materiality is an important consideration within an Historic Area Overlay. In this respect, special attention has been made throughout the design process to create a dwelling that sits comfortably within the streetscape and amongst the historic dwelling stock, without competing for prominence and avoiding imitation; clearly identifying as a new dwelling. This it does through a dwelling design that references the historic Victorian building stock, without replication, which includes:

- Traditional eaves and roof form (30° pitch)
- Façade wall height of 3.6 metres which is similar to the adjacent villas
- Contemporary front verandah spanning the front façade which provides shade and shelter to the front entry and windows
- Vertically proportioned windows



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- Use of historic materials including stone, render and sheet metal roofing

And is in line with Performance Outcomes PO 1.1, 2.1, 2.2, 2.3 and 2.5 of the Historic Area Overlay.

We therefore consider the dwelling design, particularly the street facing facade to be a suitable design that will sit comfortably amongst the Victorian character of Sixth Avenue, in line with the Historic Area Overlay.

5.5 Side setback / Potential for overshadowing / length (depth) of dwelling into the allotment.

The dwelling has been designed with a minimum .91 metre lower level side setback on the south western boundary, and 1.438 metres for the north eastern boundary, which provides a sense of space between dwellings. At the upper level, the dwelling provides 2.877 metres from the south western boundary and between 9.168 and 14.35 metres from the north eastern boundary. All of these setbacks exceed the requirements of Established Neighbourhood Zone PO 8.1, which provides the only quantitative guidance with relation to side boundary setbacks.

Within their representation, the adjacent neighbour to the south west suggests that the shared boundary is a southern boundary and such the proposal does not accord with PO 8.1 detailed above. This is not the case, as a south facing wall is defined by the Code, as detailed within Image 2 below:

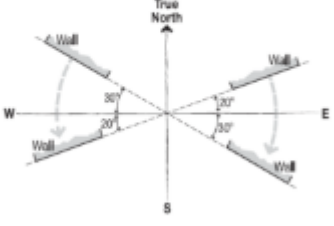
Term (Column A)	Definition (Column B)	Illustrations (Column C)
South facing	In relation to building orientation, a side wall is south facing if the wall is orientated anywhere between E20°N/W20°S and E30°S/W30°N.	 <p>Example of south facing walls.</p>

Image 2: South facing wall, as defined by the code

As the boundary /dwelling wall is orientated to the south west, it is not subject to the additional setback requirements sought for a south facing wall.

With regard to the Overlay requirements, the Historic Area Statement provides little information with regard to the side setback of dwellings, with guidance instead found through PO 2.4 of the overlay which states:



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'Development is consistent with the prevailing front and side boundary setback pattern in the historic area.'

The specific site characteristics allow the dwelling to provide the impression of meeting the above qualitative requirements found within PO 2.4, as with its location adjacent a public reserve (to the north east), gives the impression of spacious siting characteristics. This is also the case with relation to the proposed dwelling separation from the dwelling to the south west, which has a large setback from its north eastern boundary in the order of 4.5 metres. In this light, the proposed dwelling achieves a sense of space and separation from adjacent dwellings, which is consistent with the side boundary setback pattern on the north western side of Sixth Avenue.

Within their representation, the adjacent neighbour raises concerns with relation to the potential overshadowing impact resulting from the proposal, and includes two of the overshadow diagrams undertaken by Three Six Five Studio representing overshadowing at 9am and 12pm on the winter solstice as part of their representation. Whilst we acknowledge that some overshadowing will occur as a result of the proposal, it must be remembered that the diagrams depict overshadowing during the shortest day of the year, when the sun is lowest in the sky, which is the worst-case scenario. In addition, these shadow diagram do not take into account the placement (or height) of buildings or fences on adjacent land.

Upon reviewing the shadow diagrams, by 12 pm on the winter solstice, the extent of overshadowing of adjacent land is minimal, with the only overshadowing likely to be on the side walls of the adjacent building, while still allowing direct sunlight into the rear private open space area. Interestingly, the additional height of the second building level creates minimal additional overshadowing over and above what a traditional single storey dwelling in this location would, due to the sun having a mostly northern orientation by this time.

In this instance, the shadow diagrams demonstrate the proposal compliance with General Development Policies, Interface between Land Uses DPF 3.2 and PO 3.2, which provide guidance with relation to reasonable overshadowing.

Several representors also raise concern with relation to which the dwelling extends into the allotment, which is partially a result of the integration of the rear loaded garage into the dwelling design, and of the north easterly location of private open space along the north eastern side boundary. We note that several sites within the locality have been designed, approved and constructed this way, typically as a rear addition, given the number of intact dwellings within the locality. We also note that the relevant policy that dictates rear setbacks is found within Established Neighbourhood Zone DPF 9.1 and states:

'Other than in relation to an access lane way, buildings are set back from the rear boundary at least:

(a) 4m for the first building level



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(b) 6m for any second building level.'

And within the Historic Character Statement includes:

Setting, landscaping, streetscape and public realm features	In St Peters, wide tree lined streets, with mature street trees and rear lanes used for vehicular access and garages
---	--

While the site has rear laneway access and PO 9.1 does not apply, the proposal still achieves the relevant setbacks above, which is reinforced by way of the Historic Character Statement, which specifically refers to utilising rear lanes for access and garaging. Therefore, to our knowledge, there is no policy that specifically restricts the length to which a dwelling can be constructed into an allotment, with the proposal consistent with the above policies.

5.6 Overlooking

The neighbour to the south west raises concern with regard to the potential for overlooking from the upper windows of the proposed dwelling into their rear yard, which is a concern that we also share. This is easily resolved by imposing a condition of consent requiring the use of obscure glazing or similar to a minimum height of 1.5 metre above the finished floor level, consistent with PO 10.1 of General Development Policies, Design in Urban Areas. To this end, we can confirm the applicant's acceptance of such a condition.

5.7 Lack of Landscaping

The proposal includes landscaping detail on the site plan which reserves 256.84m² of the site for soft landscaping, which represents 24.72% of the site area. While a representor raises concerns with regard to the amount of landscaping on site, the amount provided is only marginally short of the 25% required by DPF 22.1 of General Development Policies, Design in Urban Areas and represents a substantial effort with respect to its inclusion, given the amount of hardscape area associated with the swimming pool.

With regard to the concerns raised regarding the landscaping strip along the north eastern side boundary, we can confirm that the 500mm wide landscaping strip is sufficient for the filler plantings which will assist to soften the appearance of the fencing from inside the site.

The application includes tree plantings within the front and rear yards of 'Robina Mop Top' which satisfies the requirements of the Tree Canopy Overlay, which will be nurtured and maintained for the foreseeable future.



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It is also pertinent to mention that as there is no vehicle access to the front of the site and therefore the entire front yard (with the exception of the pedestrian pathways) is retained for soft landscaping, in keeping with the existing established dwellings within the locality. As such, the proposed landscaping provision is considered consistent with Code requirements.

5.8 Stormwater disposal/Flooding resulting from swimming pool

One of the representors raises concerns about the risk of the swimming pool adding to stormwater disposal issues / flooding risk within the locality, which we consider to be unfounded. We would like to take the opportunity to confirm that the swimming pool, like the multitude of others within the locality, is a suitable development within a residential setting and has been designed to accord with best engineering practices, and is being handled as part of a separate application by the pool builder. As a result, it does not form part of this application and is included on the site plan for completeness.

6.0 Conclusion

For the reasons expressed in the response to representations, the proposal in our opinion represents a desirable proposal within the Established Neighbourhood Zone; and is in accordance with the relevant general and overlay provisions of the Planning and Design Code, considering the unique circumstances of the subject land and locality.

The proposal will provide an attractive two level dwelling with a single storey appearance which will sit comfortably amongst the Sixth Avenue streetscape and established historic building stock. The dwelling displays character elements and styling without imitation, clearly identifying itself as a new dwelling in a subtle manner, through its materiality (sheet metal, render and stone), neutral colour scheme and overall design, which will provide a high degree of residential amenity for its future occupants.

We understand that the representors raise concerns with relation to the proposal, which, to the untrained eye, when read as a two dimensional image, appears more impactful than the corresponding built form will be. For the most part, the concerns raised are areas which suitably accord with either the Historic Area Overlay, the Established Neighbourhood Zone, or General Development Policies, with the exception of those related to direct overlooking from the upper level, which can and will be suitably addressed via conditioning of the application.

Overall, the proposal for the Demolition of existing dwelling and construction of a 2-storey detached dwelling and masonry front fence is consistent with the Planning and Design Code in so far that the proposal:



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- is in accordance with the state interests reflected in the relevant overlays;
- is in accordance with the Desired Outcomes and Performance Outcomes of the Established *Neighbourhood Zone*;
- is in accordance with the Performance Outcomes of the relevant General Development provisions; and
- will not have any adverse impacts on the amenity of the locality, the future development of the locality or detrimentally impact upon any surrounding development.

After careful consideration of the proposed development and having regard to the relevant Assessment Provisions of the Planning and Design Code, it is my opinion, that the proposal is not seriously at variance and represents an appropriate form of development in the context of the unique circumstances of the subject land and locality.

For all these reasons, Planning Consent is warranted.

We look forward to your support of this proposal. If you have any further questions regarding this application or require additional information, please contact me on 0499 933 311.

Yours sincerely,

Mark Kwiatkowski MPlA CPP

Director + Principal Urban Planner

Adelaide Planning & Development Solutions - Town Planning Specialists | Planning Private Certifiers



File Note

Date 17 October 2024 **File Number** DA 24032150

Subject Arb. Impact Assessment 48 Sixth Avenue, St Peters 5069

Hi Kieran

Reserve trees

There are 5 relatively large Council Reserve *Fraxinus angustifolia* 'desert ash' trees (Trees 3-7) situated adjacent this address in the neighbouring and recently upgraded Burchell Reserve.

The non-regulated trees have been planted at 3.5m from the subject boundary fence and appear to be in good overall health. The recent upgrade to reserve has most likely created a more favourable root growing environment for these trees than that prior.

I do not have concerns with the proposed development having an adverse effect to the health of these trees, such that no above ground pruning would be required, and only minor root pruning will be required. Some basic conditioning should be implemented however, stating that any pruning to roots, if exposed, should be done using appropriate equipment. Trees 3-7 below.



Street trees

There are two street trees on Sixth Avenue adjacent 48 Sixth Avenue, both of which are the exempt species *Celtis australis*, the northern most of the two is a poor-quality tree and of no concern.

The larger and southern most tree is a healthy and structurally sound specimen (Tree 1) with a TPZ of 5.6m.

The tree is situated at 3m away from the property boundary in the road verge, the boundary fencing currently consists of a low masonry fence on a solid foundation.

Tree 1 has an SRZ of 2.57m, as such any changes to the fence will not have an adverse effect to tree roots within the SRZ. There is some concern associated with damage to tree roots within the TPZ during fence construction however this can be managed by the implementation of basic conditioning and if adhered to I do not believe the tree would be overly effected by this development.

Specifically, any tree roots exposed during works to construct the fence/wall must be pruned using correct tree pruning equipment. Any larger roots with a diameter of 100mm or more should not be pruned without further arboricultural advice prior.



Images below show Tree 1, current front fence/wall construction.

Kind regards
Matthew Cole

HERITAGE IMPACT REPORT

bbarchitects

PROPERTY ADDRESS: **48 Sixth Avenue St Peters**
APPLICATION NUMBER: **24032150**
DATE: 3 December 2024
PROPOSAL: Demolition and new two level dwelling
HERITAGE STATUS: THE AVENUES HISTORIC AREA OVERLAY
HERITAGE ADVISOR: David Brown, BB Architects
PLANNER: Kieran Fairbrother



City of
Norwood
Payneham
& St Peters

ADVICE SOUGHT

No advice has been sought from Council's heritage advisor on the design of the new dwelling. I provided advice to an earlier design as a part of this application.



DESCRIPTION

The existing building is an Interwar Bungalow, and is in the Established Neighbourhood Zone within the Avenues Historic Area Overlay.

PROPOSAL

The proposal is to demolish the existing dwelling and construct a Bungalow style two level dwelling on the site.

COMMENTS

The proposed demolition is acceptable as the house is not a Representative Building, nor does it contribute to the streetscape character in this mainly Victorian area of St Peters.

The proposed new dwelling is a better outcome than the previous design, as it better references the surrounding Victorian Character. However, there are still some issues with the proposed design as discussed below.

FORM

The two level portion of the dwelling is too visible in an area where there is a single storey TNV.

The house has no front verandah, and has a porch. Every historic house in the area has a front verandah forward of the dwelling of some form, and there are no houses in area with a front porch. The design needs to be reconsidered so it can remove the porch and include a front verandah that is more than a sunshade over the windows.

The eaves height and roof form are a generally acceptable outcome. The building width is an issue, as it will be wider than any other house in the area, making it visually dominant.

SETBACKS

The front setback appears to be generally in alignment with other dwellings in the area, so will not have an adverse impact on the neighbouring building.

The side setbacks are very small compared to the traditional buildings in the area. Virtually all other historic buildings have a modest setback on one side, and a larger setback on the other as they are all double fronted cottages and villas. The proposed narrow setbacks on each side are out of character in the area, and will make the proposed dwelling visually dominant in the streetscape.

MATERIALS

The materials shown for the roofing are inappropriate in a Historic Area Overlay. The metal deck roofing is not a traditional material, and will detract from the corrugated roofs on all of the traditional buildings in the area.

The other materials noted are generally acceptable in this context.

FENCING

The proposed front fence is a generally appropriate outcome for a site like this. Some clarification is needed on the metal infill, as there are no details apart from the colour and material.

CONCLUSION

While the revised design is better than the earlier proposal, it still is not yet an acceptable infill dwelling in this Historic Area overlay.

HERITAGE IMPACT REPORT

bbarchitects

PROPERTY ADDRESS: **48 Sixth Avenue St Peters**
APPLICATION NUMBER: **24032150**
DATE: 8 October 2024
PROPOSAL: Demolition and new two level dwelling
HERITAGE STATUS: THE AVENUES HISTORIC AREA OVERLAY
HERITAGE ADVISOR: David Brown, BB Architects
PLANNER: Kieran Fairbrother



City of
Norwood
Payneham
& St Peters

ADVICE SOUGHT

No advice has been sought from Council's heritage advisor on the design of the new dwelling. I provided pre sales advice to many people stating that the building could be demolished.



DESCRIPTION

The existing building is an Interwar Bungalow, and is in the Established Neighbourhood Zone within the Avenues Historic Area Overlay.

PROPOSAL

The proposal is to demolish the existing dwelling and construct a Bungalow style two level dwelling on the site. .

COMMENTS

The proposed demolition is acceptable as the house is not a Representative Building, nor does it contribute to the streetscape character in this mainly Victorian area of St Peters.

The proposed new dwelling is generally the wrong style for this site and context. It emulates the Bungalow it replaces, which is not the intent for this site, otherwise the Bungalow should just be retained. The proposed dwelling design needs to adopt proportions, roof pitches and forms from the mostly Victorian era dwellings that surround it.

The two level portion of the dwelling is too visible in an area where there is a single storey TNV.

The materials shown for the roofing are inappropriate in a Historic Area Overlay, and the colour is too dark. The timber look louvres to the front gable are not an acceptable outcome. Unfinished timber is not a traditional material seen in Victorian era houses. Likewise the timber cladding to the front façade is also not acceptable.

The shadow diagrams do not state which month they are for.

CONCLUSION

At this stage only the front fence shown in the render is an acceptable outcome. The rest of the house needs a complete redesign before it would be considered an appropriate infill dwelling for this highly visible site.

5.2 DEVELOPMENT NUMBER ID 25001816 - FOGOLAR FURLAN INC – 69-77 BRIAR ROAD FELIXSTOW

DEVELOPMENT NO.:	25001816
APPLICANT:	Fogolar Furlan Inc
ADDRESS:	69 -77 BRIAR RD FELIXSTOW SA 5070
NATURE OF DEVELOPMENT:	Variation to DA 190/145/1997 to amend hours of operation
ZONING INFORMATION:	<p>Zones:</p> <ul style="list-style-type: none"> • General Neighbourhood <p>Overlays:</p> <ul style="list-style-type: none"> • Airport Building Heights (Regulated) • Affordable Housing • Heritage Adjacency • Hazards (Flooding - General) • Local Heritage Place • Prescribed Wells Area • Regulated and Significant Tree • Stormwater Management • Traffic Generating Development • Urban Tree Canopy
LODGEMENT DATE:	6 Feb 2025
RELEVANT AUTHORITY:	Assessment Panel at City of Norwood, Payneham and St. Peters
PLANNING & DESIGN CODE VERSION:	P&D Code (in effect) Version 2025.2 30/01/2025
CATEGORY OF DEVELOPMENT:	Code Assessed - Performance Assessed
NOTIFICATION:	No
RECOMMENDING OFFICER:	Edmund Feary - Senior Urban Planner
REFERRALS STATUTORY:	None
REFERRALS NON-STATUTORY:	None

CONTENTS:

APPENDIX 1:	Relevant P&D Code Policies
ATTACHMENT 1:	Application Documents
ATTACHMENT 2:	Subject Land Map
ATTACHMENT 3:	Zoning Map & Locality Map

DETAILED DESCRIPTION OF PROPOSAL & BACKGROUND:

The site has an existing approved use as a function centre known as *Fogolar Furlan* (hereafter, “the Club”), which has operated as an Italian community club for many years. The site is listed as a Local Heritage Place on the basis of this cultural heritage.

The site’s hours of operation were set under DA 190/145/1997 which outlined the following:

The hours of operations for the facility shall be:

<i>Monday to Thursday</i>	<i>10.00am to 11.00pm</i>
<i>Friday</i>	<i>10.00am to 11.30pm</i>
<i>Saturday</i>	<i>10.00am to 12.30am</i>
<i>Sunday</i>	<i>10.00am to 10.30pm</i>
<i>Public Holidays</i>	<i>Noon to Midnight</i>
<i>Good Friday and Christmas Day</i>	<i>Nil</i>
<i>Special Days- Sundays which are followed by a Public Holiday</i>	<i>Noon to Midnight</i>

and that any special function requiring extended hours other than those stipulated, requires notice in writing to Council at least 21 days prior to the event to obtain Council’s written permission.

The club operates many “special functions” as annual events, and the requirement for them to seek the written permission for each creates an administrative burden on both the Council and the Club.

To this end, the Club is seeking to extend its approved trading hours as follows:

<i>Monday to Thursday:</i>	<i>from 10:00am until 11:00pm (no changes)</i>
<i>Friday:</i>	<i>from 10:00am until 01:00am (previously 11:30pm)</i>
<i>Saturday:</i>	<i>from 10:00am until 01:00am (previously 12:30am)</i>
<i>Sunday:</i>	<i>from 10:00am until 11:30pm (previously 10:30pm)</i>
<i>Special Days:</i>	<i>from 12:00pm until 01:00am (previously 12:00am)</i>
<i>Good Friday and Christmas Day:</i>	<i>closed (no changes)</i>

The venue’s liquor licence, approved on 16 November 2019 approves the following hours:

- *Monday-Saturday 5:00am to Midnight*
- *Sunday 8:00am to Midnight*

This conflict was brought to Council’s attention when applying for a short-term liquor licence, when Council staff noted that these were inconsistent. It was suggested to the Club that they may wish to apply for variations to make these hours consistent. The applicant has subsequently lodged this Development Application.

It is noted that the original application (190/145/1997) was determined by the Council (as in, the elected body), which is no longer a valid Relevant Authority under the Act. Based on legal advice, it is understood that where a variation is not development in its own right (e.g. variations to conditions) then the default Relevant Authority is the Assessment Panel (but the application should not undergo public notification).

SUBJECT LAND & LOCALITY:

Site Description:

Location reference: 69 -77 BRIAR RD FELIXSTOW SA 5070

Title ref.: CT 5847/552
CT 5848/24

Plan Parcel: D3446 AL110
D3446 AL 111
D3446 AL 112
D3446 AL 108
D3446 AL 109

Council: THE CITY OF NORWOOD
PAYNEHAM & ST PETERS

Shape: Mostly rectangular though the allotment boundary at the northern end is on a diagonal (though the car park does not reflect these allotment boundaries).

Frontage width: 95m

Area: 4106m²

Topography: Mostly flat

Existing structures: Community centre (Local Heritage Place in a generally modernist style) with associated fencing and sealed car park.

Existing vegetation: Large, significant gum trees around the site as well as a series of palm trees and ferns, other shrubbery, and a row of small deciduous trees along the Briar Road frontage of the car park.

Locality

The site is surrounded on three sides by the River Torrens/Karrawirra Parri Linear Park, while the opposite (eastern) side of Briar Road is a low-density residential area (General Neighbourhood Zone).

The locality is considered to extend some 85m south along Briar Road, north to the River Torrens/Karrawirra Parri, east to the dwellings on Briar Road, and west approximately 60m to the outer edge of the public car park. This is shown in **Attachment 3**.

The locality's character is dominated by the Linear Park and associated carparking, which leaves a relatively natural landscape. The residential areas of a low, but increasing, density, with more recent subdivision evident.

Tree canopy coverage is high within the park, but relatively low outside of it.

Noise levels are generally low, with some noise from OG road and the O Bahn bus interchange on the opposite side of the river in Klemzig.

The streetscapes have a low/moderate degree of amenity, though the Linear Park has a very high degree of amenity.

CONSENT TYPE REQUIRED:

Planning Consent

CATEGORY OF DEVELOPMENT:

- **PER ELEMENT:**
Other - Community - Change of Operating Hours: Code Assessed - Performance Assessed
- **OVERALL APPLICATION CATEGORY:**
Code Assessed - Performance Assessed
- **REASON**
P&D Code; No pathway provided

PUBLIC NOTIFICATION

- **REASON**

The application does not seek to conduct “development” therefore it does not require public notification.

PLANNING ASSESSMENT

The application has been assessed against the relevant provisions of the Planning & Design Code, which are contained in Appendix One.

The most relevant policy is Performance Outcome 2.1 of the Interface Between Land Uses module:

Non-residential development does not unreasonably impact the amenity of sensitive receivers (or lawfully approved sensitive receivers) or an adjacent zone primarily for sensitive receivers through its hours of operation having regard to:

- (a) the nature of the development*
- (b) measures to mitigate off-site impacts*
- (c) the extent to which the development is desired in the zone*
- (d) measures that might be taken in an adjacent zone primarily for sensitive receivers that mitigate adverse impacts without unreasonably compromising the intended use of that land.*

Disruption to Neighbours

The variation proposes to retain the current operating hours on weekdays, with Friday, Saturday and special days up until 1am, and Sundays up until 11:30. The venue may have live or amplified music playing within the buildings, and noise would be generated from vehicles leaving the car park.

This section will consider the four elements that PO 2.1 (above) suggests should be regarded in any assessment:

The Nature of the Development

The site has been lawfully used as a community centre for many years, and events of this nature have occurred many times in those years, and should generally be reasonably expected for a community/cultural centre where regular celebrations will occur.

It is considered that the nature of the development does support extended operating hours.

Measures to Mitigate Off-Site Impacts

The site is separated from any residential properties by either a public road, or by a distance of approximately 50m, with vegetation to deaden sound.

Functions take place within two large buildings which have relatively thick walls given the nature of their construction.

There is an outdoor area provided, located between the two buildings on the southern side, so noise would be unlikely to travel east from here, and as noted above, noise travelling south would be deadened by vegetation in the park.

It is considered that suitable measures are in place to mitigate off-site impacts so as to support the extended hours.

The Extent to which the Development is Desired in the Zone

The development of community facilities is expected in the General Neighbourhood Zone (DPF 1.1, PO 1.2 (b)), though it is primarily a residential zone. This in mind, this factor neither particularly supports nor undermines the case for extended hours of operation.

External Measures

As this factor relates to measures in an adjacent zone, but the development is in the same Zone as the affected sensitive receivers, this section is not considered relevant.

On balance, the factors outlined in Performance Outcome 2.1 of the Interface Between Land Uses module generally support extended operating hours for the venue.

Question of Seriously at Variance

The proposed development is not considered seriously at variance with the relevant Desired Outcomes and Performance Outcomes of the Planning and Design Code pursuant to section 107(2)(c) of the *Planning, Development and Infrastructure Act 2016*, for the following reasons:

- It relates to an existing lawfully approved land use; and,
- It extends operating hours by no more than an hour and a half from the current approved hours.

CONCLUSION

Given the longstanding nature of the use, the limited extent of the additional hours, and the separation from sensitive receivers, it is considered that the extended hours would not unreasonably impact the amenity of the locality. The application is therefore recommended for consent.

RECOMMENDATION

It is recommended that the Council Assessment Panel resolve that:

1. The proposed development is not considered seriously at variance with the relevant Desired Outcomes and Performance Outcomes of the Planning and Design Code pursuant to section 107(2)(c) of the *Planning, Development and Infrastructure Act 2016*.
2. Development Application Number 25001816, by Fogolar Furlan Inc is granted Planning Consent subject to the following reasons/conditions/reserved matters:

CONDITIONS

PLANNING CONSENT

Condition 1

The development granted Planning Consent shall be undertaken and completed in accordance with the stamped plans and documentation, except where varied by conditions below (if any), noting that all previous stamped plans and documentation, including conditions previously granted Planning Consent for Development Application ID No. 190/145/1997 are still applicable except where varied by this authorisation.

Condition 2

The hours of operation for the facility shall be:

Monday to Thursday:	from 10:00am until 11:00pm
Friday:	from 10:00am until 01:00am
Saturday:	from 10:00am until 01:00am
Sunday:	from 10:00am until 11:30pm
Special Days*:	from 12:00pm until 01:00am
Good Friday and Christmas Day:	closed

*Sundays which are followed by a Public Holiday.

ADVISORY NOTES

PLANNING CONSENT

Advisory Note 1

No work other than that which was previously approved can commence on this development unless a Development Approval has been obtained. If one or more Consents have been granted on this Decision

Notification Form, you must not operate during the additional hours allowed by this Consent until you have received notification that Development Approval has been granted.

Advisory Note 2

Consents issued for this Development Application will remain valid for the following periods of time:

- Planning Consent is valid for 24 months following the date of issue, within which time Development Approval must be obtained;

If an extension is required to any of the above-mentioned timeframes a request can be made for an extension of time by emailing the Planning Department at townhall@npsp.sa.gov.au. Whether or not an extension of time will be granted will be at the discretion of the relevant authority.

Advisory Note 3

Appeal Rights - General rights of review and appeal exist in relation to any assessment, request, direction or act of a relevant authority in relation to the determination of this application, including conditions.

Advisory Note 4

The granting of this consent does not remove the need for the beneficiary to obtain all other consents which may be required by any other legislation.



FOGOLAR FURLAN INC.

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 ABN: 62 887 617 620

CORPORATION OF THE CITY OF PAYNEHAM

Urban Planning

My name is Isa Pelizzari. I am the Secretary of the Fogolar Furlan Inc.

Last year we sought permission with your department to extend the operating hours of one of our functions. Permission was given with a suggestion to formally extend our hours for any possible future function that may arise.

Therefore, I am seeking on the Club's behalf to submit a development application to alter the approved current hours of operation, which can be viewed under the Corporation's Development - Number 190/145/97, granted 1/9/1997.

We are seeking approval to operate following the hours of operation outlined here below:

Monday to Thursday:	from 10:00am until 11:00pm (no changes)
Friday:	from 10:00am until 01:00am (previously 11:30pm)
Saturday:	from 10:00am until 01:00am (previously 12:30am)
Sunday:	from 10:00am until 11:30pm (previously 10:30pm)
Special Days*:	from 12:00pm until 01:00am (previously 12:00am)
Good Friday and Christmas Day:	closed (no changes)

Not all functions will operate until 01:00am, but occasionally major Club events such as last year's Community Disco, Anniversary Ball, Fringe Events, New Year's Eve Dinner Dance may require extended hours.

Serving of alcohol would be strictly adhered to as per our licensing conditions.

The premises can accommodate a maximum of 400 people in the upstairs hall and a max of 150 people downstairs, but not all functions will have these attendance numbers.

Hope this information is sufficient, but should further information be required please do not hesitate in communicating with us via our email address.

Regards,

Isa Pelizzari Secretary Fogolar Furlan

*Sundays which are followed by a Public Holiday.

SAPPA Report

The SA Property and Planning Atlas is available on the Plan SA website: <https://sappa.plan.sa.gov.au>

Subject Land Map



Government
of South Australia

Land Services Group

SAPPA Report

The SA Property and Planning Atlas is available on the Plan SA website: <https://sappa.plan.sa.gov.au>

Zoning and Locality Map



Government
of South Australia
Land Services Group

6. DEVELOPMENT APPLICATIONS – DEVELOPMENT ACT

7. REVIEW OF ASSESSMENT MANAGER DECISIONS

**7.1 REVIEW OF ASSESSMENT MANAGERS DECISION – ID 24031118 –
 89 EIGHTH AVENUE ST PETERS**

DEVELOPMENT NO.:	24031118
APPLICANT:	Ms Kim Lau
ADDRESS:	89 Eighth Avenue, St Peters - CT 6152 / 747
NATURE OF DEVELOPMENT:	Variation of Development Application 24015340 to include a boundary wall
ZONING INFORMATION:	<p>Zones:</p> <ul style="list-style-type: none"> • Established Neighbourhood <p>Overlays:</p> <ul style="list-style-type: none"> • Airport Building Heights (Regulated) (All structures over 110 metres) • Character Area (NPSPC4) • Hazards (Flooding – General) • Prescribed Wells Area • Regulated and Significant Tree • Stormwater Management • Urban Tree Canopy <p>Technical Numeric Variations (TNVs):</p> <ul style="list-style-type: none"> • Minimum Frontage (Minimum frontage for a detached dwelling is 15m; semi-detached dwelling is 10m) • Minimum Site Area (Minimum site area for a detached dwelling is 500sqm; semi-detached dwelling is 500sqm) • Maximum Building Height (Levels) (Maximum building height is 2 levels) • Minimum Side Boundary Setback (Minimum side boundary setback is 1.5m for the first building level; 3m for any second building level or higher) • Site Coverage (Maximum site coverage is 50 per cent)
LODGEMENT DATE:	4 October 2024
RELEVANT AUTHORITY:	<p>Original Decision – Assessment Manager at City of Norwood Payneham & St Peters</p> <p>Review of AM Decision – Council Assessment Panel at City of Norwood Payneham & St Peters</p>
PLANNING & DESIGN CODE VERSION:	Version applicable at lodgement – (4 October 2024)
CATEGORY OF DEVELOPMENT:	Code Assessed - Performance Assessed
NOTIFICATION:	No

RECOMMENDING OFFICER:	Geoff Parsons, Assessment Manager
REFERRALS STATUTORY:	None required
REFERRALS NON-STATUTORY:	None required

CONTENTS:

APPENDIX 1:	Relevant P&D Code Policies	ATTACHMENT 4:	Delegated Planning Assessment Report
ATTACHMENT 1:	Council Assessment Panel Review of Decisions of the Assessment Manager Policy	ATTACHMENT 5:	Application Documents
ATTACHMENT 2:	Application to Assessment Panel and accompanying correspondence		
ATTACHMENT 3:	Decision Notification Form		

INTRODUCTION

Section 202(1)(b)(i)(A) of the *Planning, Development & Infrastructure Act 2016* provides an applicant with a right to apply to the Council Assessment Panel for a review of the Assessment Manager’s decision relating to a prescribed matter.

A prescribed matter is defined as follows:

Prescribed matter, in relation to an application for a development authorisation, means -

- (a) any assessment, request, decision, direction or act of a relevant authority under this Act that is relevant to any aspect of the determination of the application; or
- (b) A decision to refuse to grant the authorisation; or
- (c) The imposition of conditions in relation to the authorisation; or
- (d) Subject to any exclusion prescribed by the regulations, any other assessment, request, decision, direction or act of a relevant authority under this Act in relation to the authorisation.

To assist with undertaking a review under Sections 201-203 of the *Planning, Development & Infrastructure Act 2016*, the Council Assessment Panel adopted a procedure to guide the consideration of an application for such at its meeting held on 21 October 2024. A copy of that Policy is provided in **Attachment 1**.

The Panel should be aware that the South Australian Government made changes to the *Planning, Development & Infrastructure (General) Regulations 2017* on 25 May 2023. An amended regulation was introduced which states:

- (2) An applicant to an assessment panel for a review of a prescribed matter must be given an opportunity to provide the assessment panel with the applicant’s submissions in relation to the review (and, if the assessment panel determines to hold a hearing, must be given written notice of the date of the hearing and an opportunity to appear and make submissions at the hearing in person)

Council (together with the rest of the local government sector) has received advice in relation to the new regulation and such advice confirms that an Applicant should be provided with the right to make submissions (both written and verbal). Accordingly, the Applicant’s written submission has been provided in **Attachment 2** (together with the request for the review) and the Presiding Member and Assessment Manager have agreed it is reasonable for both the Applicant and Assessment Manager to address the Panel verbally for five (5) minutes each, as per the Panel’s normal processes for a hearing of representations. This is now allowed for as per clause 6.3 of the adopted *Policy*.

DETAILED DESCRIPTION OF PROPOSAL:

The Application to which the review relates is Development Application 24031118. This Application sought Planning Consent to vary DA 24015340. That Application originally obtained Planning Consent for: *Construction of a two-storey detached dwelling and associated outbuilding (garage)*.

DA 24031118 was then lodged and sought consent for:

Variation of Development Application 24015340 to include a boundary wall

Specifically, the variation seeks to:

- Alter the south western wall to the “office” such that it no longer sits 960mm from the boundary, and instead rests on the side boundary;
- Construct the wall such that it has dimensions of 6.59m in length and 3.096m in height;
- Construct the boundary wall of face brickwork (black facebrick with white mortar).

Development Application 24031118 was refused Planning Consent under delegation from the Assessment Manager. It is that determination that is the subject of this review (for clarity, the Planning Consent for DA 24015340 remains valid and the two-storey dwelling can be constructed following the granting of Building Consent and Development Approval – it is only the variation application {DA 24031118} seeking to construct a boundary wall that has been refused).

Clause 7 in the *Council Assessment Panel Review of Decisions of the Assessment Manager Policy* stipulates that the Panel may:

- Affirm the Assessment Manager’s decision on the Prescribed Matter;
- Vary the Assessment Manager’s decision on the Prescribed Matter; or
- Set aside the Assessment Manager’s decision on the Prescribed Matter and substitute its own decision.

In addition, the Council Assessment Panel may defer its decision in accordance with clause 6.8 of the *Council Assessment Panel Review of the Assessment Manager Policy*.

Draft resolutions for each option have been included at the appropriate point within this report.

This particular review application was lodged outside of the timeframe outlined in the Policy (clause 3.3.3). However, that same clause grants the Presiding Member permission to still accept the Application for Review, and in doing so they may consider the circumstances outlined in clause 3.5. The Presiding Member made the decision to accept the Review on 10 January 2025.

SUBJECT LAND & LOCALITY

Development Location(s)

89 Eighth Avenue, St Peters, SA 5069

Title and Parcel

Title Ref: CT 6152/747 **Plan Parcel:** D93154 AL2 **Additional Location Information: Council:**

The City Of Norwood Payneham & St Peters

The subject land was originally part of a larger parcel but was subdivided in 2010. At that time 89 and 89A Eighth Avenue were created. This application relates entirely to 89 Eighth Avenue.

The subject land is a rectangular land parcel of approximately 516 square metres in area. It is currently vacant. It has a frontage of approximately 11 metres and a depth of approximately 46 metres.

The land is generally level and has frontage to both Eighth Avenue and Eighth Lane.

Locality

The locality is almost exclusively residential in nature. It contains primarily single-storey detached dwellings on spacious allotments with reasonable setbacks to the street frontage and allotment boundaries. Many

dwellings are of mature age but the area is subject to re-development with newer dwellings being designed to respect some of the character features and styles of the older dwelling stock.

The presence of laneways throughout St Peters mean that garaging is predominantly provided to the rear of the allotments, meaning dwellings address the street frontage with extensive living areas and large landscaped gardens.

Many properties incorporate front fencing which varies in condition and type, including timber, colour-coated steel, masonry and metal infill and other varieties.

Eighth Avenue is a wide street with mature street trees and footpaths either side. Traffic volumes are generally low.

The area enjoys a high level of amenity and is in a highly desirable and sought-after location.

PROCEDURAL MATTERS

The Application was performance assessed and did not require public notification.

AGENCY REFERRALS

No agency referrals were required.

INTERNAL REFERRALS

No internal referrals were required.

DOCUMENTS FOR REVIEW

In accordance with clause 4 of the *Council Assessment Panel Review of Decisions of the Assessment Manager* a number of different materials have been included as attachments to this agenda, as follows:

- Appendix 1 – Applicable Planning & Design Code Policies
- Attachment 1 – Council Assessment Panel Review of Decisions of the Assessment Manager Policy
- Attachment 2 – Application to Assessment Panel and accompanying correspondence
- Attachment 3 – Decision Notification Form
- Attachment 4 – Delegated Assessment Report
- Attachment 5 – Application Documentation

REVIEW OF ASSESSMENT MANAGER DECISION

The applicant, via the correspondence provided for in **Attachment 2**, has provided a valid and clear argument as to why the decision of the Assessment Manager (i.e. the refusal of DA 24031118) should be set aside, namely:

- The presence of numerous other boundary walls in the locality;
- The high quality of the dwelling design;
- Future landscaping which will partially screen the boundary wall;
- The boundary wall will not have an unreasonable impact on the locality.

To assist the Panel in their consideration of this matter, and in accordance with clause 5.1.4 of the Council Assessment Panel Review of Decisions of the Assessment Manager Policy I have set out the rationale for the Assessment Manager's decision below.

The Delegated Planning Assessment Report (provided for in Attachment 4) sets out the rationale for the

original decision of the Assessment Manager in detail. The report provides for a comparison of other boundary walls / developments in the locality and considers the relevance of each. It is not necessary to repeat those comparisons for the purposes of this report.

The Assessment Manager’s decision was ultimately based on the following provisions within the Planning & Design Code:

ENZ DO 1 – A neighbourhood that includes a range of housing types with new buildings sympathetic to the predominant built form character and development patterns.

ENZ PO 7.1 – Walls on boundaries are limited in height and length to manage visual and overshadowing impacts on adjoining properties.

ENZ PO 8.1 – Buildings are set back from side boundaries to provide:

- (a) Separation between buildings in a way that complements the established character of the locality*
- (b) Access to natural light and ventilation for neighbours.*

CAO DO 1 – Valued streetscape characteristics and development patterns are reinforced through contextually responsive development, design and adaptive reuse that responds to the attributes expressed in the Character Area Statement.

CAO PO 1.1 – All development is undertaken having consideration to the valued attributes expressed in the Character Area Statement.

CAO PO 2.1 – The form of new buildings and structures that are visible from the public realm are consistent with the valued streetscape characteristics of the character area.

CAO PO 2.3 – Design and architectural detailing of street-facing buildings (including but not limited to roof pitch and form, openings, chimneys and verandahs) are consistent with the prevailing characteristics in the character area.

CAO PO 2.4 – Development is consistent with the prevailing front and side boundary setback pattern in the character area.

Relevant Character Area Statement Provisions:

<i>Architectural styles, detailing and built form features</i>	<i>Traditional pre-1940s roof forms, eaves, front verandah treatments, window proportions.</i> <i>Semi-detached dwellings often presenting as single dwellings.</i>
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It is important to note the Assessment Manager’s decision was influenced by the following factors:

- The Desired Outcomes set the context within which the relevant Performance Outcomes should be interpreted. The Desired Outcomes for the Established Neighbourhood Zone and Character Area Overlay both specifically speak to contextually responsive development, valued streetscape characteristics being reinforced and new buildings being sympathetic to predominant built form characteristics.
- The locality is not a “typical” residential area (as one might see in other “General Neighbourhood Zones”) and a “higher bar” is established for development to ensure the valued character attributes of the area are not undermined by inappropriate development over time.
- A conclusion that the wall would be unlikely to have unreasonable impacts on the affected neighbour through inappropriate visual impacts or overshadowing.
- The boundary wall would unreasonably impact the streetscape character by creating a form of development which would:
 - Not incorporate an eave to the boundary wall element which is a character attribute specifically noted in the Character Area Statement;
 - Result in a living area on the boundary which is not common in the locality;

- Result in a development not complying with the side setback TNV of 1.5 metres (noting a TNV forms part of a Designated Performance Feature and is not a “mandatory” requirement).
 - Result in a streetscape outcome that is not common in the locality, is inconsistent with the valued attributes of the Character Area and undermines the established character of the locality / streetscape.
- Development assessment is not a “tick box” exercise and requires a careful weighing of the relevant policies within a specific context. The failure of a development to align with the valued attributes of a character area may not be fatal if those characteristics are already undermined and no longer relevant. Accordingly, the Assessment Manager carefully considered the context within which the development is proposed, and that analysis is borne out in the Delegated Planning Assessment Report (Attachment 4).

It is evident from that assessment that, while there are examples of boundary development (mostly approved under previous policy regimes), the majority of the character area is “intact”, maintaining boundary setbacks and eave forms which are consistent with the valued attributes as set out in the Character Area Statement.

For these reasons the Assessment Manager concluded that Development Application 24031118 could not be supported and refused Planning Consent.

As the Council Assessment Panel now has before it the rationale for the review as provided by the Applicant, and justification for the decision as provided by the Assessment Manager, the Panel must now consider this matter afresh taking into consideration all relevant factors.

CONCLUSION

This report outlines the rationale for the decision of the Assessment Manager, as required by clause 5.1.4 of the *Council Assessment Panel Review of Decisions of the Assessment Manager Policy*. The attachments provide all of the other relevant information and details as required by clause 5.1.

The Council Assessment Panel must determine whether to affirm the decision of the Assessment Manager, vary it, set it aside and substitute its own decision or defer consideration of the matter for more information.

Relevant options for the consideration of the Panel are outlined below.

RESOLUTION OPTIONS

Resolution to affirm the decision of the Assessment Manager

The Council Assessment Panel resolves to affirm the decision of the Assessment Manager that Development Application 24031118 is not seriously at variance with the Planning and Design Code, but that it does not warrant Planning Consent for the following reasons:

1. *The proposed boundary wall is inconsistent with prevailing side setback pattern of the locality and Character Area, therefore being inconsistent with Established Neighbourhood Zone Performance Outcome 8.1, and Character Area Overlay Performance Outcomes 2.1 and 2.4. It would also result in an eave form that would make it inconsistent with Character Area Overlay Performance Outcomes 1.1, 2.1 and 2.3.*

Resolution to vary a decision of the Assessment Manager

The Council Assessment Panel resolves to vary the decision of the Assessment Manager in relation to Development Application 24031118 by including the following reasons for refusal:

- *[insert additional / alternate reasons]*

Resolution to set aside a decision of the Assessment Manager

The Council Assessment Panel resolves to set aside the decision of the Assessment Manager to refuse Planning Consent to Development Application 24031118 and substitute the following decision:

- *Development Application 24031118 is not seriously at variance with the Planning and Design Code and Planning Consent is granted to the application subject to the following conditions and notes:*

CONDITIONS

Condition 1

The development granted Planning Consent shall be undertaken and completed in accordance with the stamped plans and documentation, except where varied by conditions below (if any), noting that all previous stamped plans and documentation, including conditions previously imposed on the Planning Consent for Development Application 24015340 are still applicable except where varied by this authorisation.

ADVISORY NOTES

Note 1

No work can commence on this development unless a Development Approval has been obtained. If one or more Consents have been granted on this Decision Notification Form, you must not start any site works or building work or change of use of the land until you have received notification that Development Approval has been granted.

Note 2

This approval varies the original consent / approval to which it applies, but it does not extend nor vary the operative date of the original consent / approval. The consent / approval must be acted upon within the operative date applicable, unless extended by the relevant authority via separate submission.

Note 3

Appeal Rights - General rights of review and appeal exist in relation to any assessment, request, direction or act of a relevant authority in relation to the determination of this application, including conditions.

Note 5

The granting of this consent does not remove the need for the beneficiary to obtain all other consents which may be required by any other legislation.

The Applicant's attention is particularly drawn to the requirements of the Fences Act 1975 regarding notification of any neighbours affected by new boundary development or boundary fencing. Further information is available in the 'Fences and the Law' booklet available through the Legal Services Commission.

Note 6

The Building Consent to be submitted for this development must be submitted against the original Development Application granted Planning Consent, and not against the variation. However the Building Consent must be consistent with the latest version of the approved plans, which would incorporate any approved variations. The variation application may subsequently be verified as not requiring Building Consent, to allow Development Approval to be granted against the variation.

For further clarification, please contact Council's Planning Department on 8366 4530.

Resolution to defer review hearing

The Council Assessment Panel resolves to defer its decision in relation to its review of the decision of the Assessment Manager to refuse Planning Consent to Development Application 24031118 until:

- The next ordinary meeting of the Panel;*
- The next ordinary meeting of the Panel after [insert additional information which has been requested by the Panel] is provided;*
- Until the next ordinary meeting of the Panel after [insert date (i.e. giving an applicant 2 months to provide information)].*



NAME OF POLICY: Council Assessment Panel Review of Decisions of the Assessment Manager

POLICY MANUAL: Governance

BACKGROUND

The *Planning Development and Infrastructure Act 2016* (the Act) provides that where an application for development is made to an Assessment Manager, a person who has applied for the development authorisation may apply to the Council Assessment Panel for a review of a prescribed matter.

DISCUSSION

The Council Assessment Panel (CAP) has endorsed the following Policy.

KEY PRINCIPLES

The Policy has been prepared to provide clear guidance on the procedures involved in the CAP's review of an Assessment Manager's decision.

POLICY

1. Introduction

- 1.1 Section 202 (Rights of Review & Appeal) of the *Planning, Development & Infrastructure Act 2016* (PDI Act) allows an applicant who has received a determination from a relevant authority, including the Council Assessment Panel or Assessment Manager, regarding a Development Application, the right to seek a review of the decision.
- 1.2 Where such a decision has been made by the Assessment Manager (or his or her delegate), Section 202 (1)(b)(i)(A) permits the applicant to apply to the Council Assessment Panel (CAP) to review the decision regarding a Prescribed Matter.
- 1.3 Section 203(2)(a) of the PDI Act states that CAP may adopt a procedure for the consideration of such review requests as it thinks fit. This Policy has been formulated to accord with Section 203 of the PDI Act.
- 1.4 This Policy outlines the process to be followed by an applicant when lodging such a request for review and how the matter will be considered by CAP.
- 1.5 This Policy applies in addition to the statutory requirements for the review by the Council Assessment Panel (CAP) of a decision of an Assessment Manager as set out in Part 16, Division 1 of the PDI Act.

2. Definitions & interpretation

- 2.1 “**applicant**” in this instance refers to the person or entity named as such on the Development Application form who sought the development authorisation in question and who may or may not be the owner of the land on which the development is to occur.
- 2.2 “**Assessment Manager**” in this instance includes his or her delegate
- 2.3 “**business day**” means any day except— (a) Saturday, Sunday or a public holiday; or (b) any other day which falls between 25 December in any year and 1 January in the following year;
- 2.4 “**next available meeting**” is not necessarily the next in-time CAP meeting (which could be a matter of days away) as the agenda for the next meeting may have closed or is full, or there may be insufficient time for the CAP members to consider the information provided to them. In this case, it is intended that the review would be assigned to and be heard at, the meeting after the next in time CAP meeting.
- 2.5 A “**Prescribed Matter**” means:
- 2.5.1 any assessment, request, decision, direction or act of the Assessment Manager under the Act that is relevant to any aspect of the determination of the development application, or
 - 2.5.2 a decision to refuse to grant development authorisation to the application, or
 - 2.5.3 the imposition of conditions in relation to a grant of development authorisation, or
 - 2.5.4 subject to any exclusion prescribed by the *Planning, Development and Infrastructure (General) Regulations 2017*, any other assessment, request, decision, direction or act of the Assessment Manager under the PDI Act in relation to the granting of a development authorisation.

3. Commencing a review

- 3.1 An application for review in relation to a development application or development authorisation may only be commenced by the applicant for the development authorisation.
- 3.2 An application for review must relate to a Prescribed Matter in relation to which the Assessment Manager was the relevant authority.
- 3.3 An application for review must be:
- 3.3.1 made using the Application to Assessment Panel for Assessment Manager’s Decision Review form (the Form - for ease of reference, a copy of the current Application to CAP Form is attached to this Policy).
 - 3.3.2 lodged in a manner identified on the Form, and
 - 3.3.3 lodged within one (1) month of the applicant receiving notice of the Prescribed Matter, unless the Presiding Member, in his or her discretion, grants an extension of time.
- 3.4 The Presiding Member may, in their discretion, determine that an application for review shall not be considered by the CAP on the basis that it is frivolous or vexatious, or is otherwise an abuse of process.
- 3.5 In determining whether to grant an extension of time, the Presiding Member may consider:
- 3.5.1 the reason for the delay;
 - 3.5.2 the length of the delay;
 - 3.5.3 whether any rights or interests of other parties would be affected by allowing the review to be commenced out of time;
 - 3.5.4 the interests of justice;
 - 3.5.5 whether the applicant has, or is within time to, appeal the Prescribed Matter to the ERD Court, and

3.5.6 any other matters the Presiding Member considers relevant.

3.5 An application for review should, upon receipt by the CAP, be notified to the Assessment Manager within five (5) business days.

4. Applicant's Documents

- 4.1 An applicant must be given an opportunity to provide written submissions (which, for the avoidance of doubt, may include additional information and materials) in support of his or her application for review.
- 4.2 The Assessment Manager must inform the applicant of their right to provide written submissions to the CAP within 10 business days of receipt of the application for review.
- 4.3 Such written submissions must be received by the Presiding Member within 10 business days of receipt of the notice from the Assessment Manager, or such longer period as is requested by the applicant and granted by the Presiding Member, in his or her discretion.
- 4.4 A written submission should be marked to the attention of the Presiding Member and lodged in a manner specified in Clause 8.
- 4.5 The Presiding Member should provide a copy of any written submission to the Assessment Manager within 5 business days of its receipt.
- 4.6 Within 5 business days of the receipt of the applicant's written submissions, the Presiding Member should determine, in his or her discretion, whether to provide a referral agency which provided a response on the application with the opportunity to review and respond to any additional information and/or materials, in such manner and within such time as is determined by the Presiding Member.
- 4.7 Where a response is received from a referral agency, the Presiding Member should provide a copy to the applicant and Assessment Manager within 2 business days.
- 4.8 If the Presiding Member considers that an applicant's written submissions are substantial, the Presiding Member may defer the date for a hearing for such reasonable period as the Presiding Member considers appropriate, in order to:
- 4.8.1 provide the Assessment Manager with an opportunity to review and respond to the written submissions; and
 - 4.8.2 provide any relevant referral bodies with an opportunity to review and respond to the written submissions in accordance with Clause 4.6.

and must provide written notice to the applicant as soon as reasonably practicable after determining to defer the hearing, and in any event, no less than 24 hours before the hearing was due to take place.

5. Materials for review hearing

- 5.1 The Assessment Manager shall collate for the CAP:
- 5.1.1 all materials which were before the Assessment Manager at the time of the decision on the Prescribed Matter, including but not limited to:
 - 5.1.1.1 application documents, reports, submissions, plans, specifications or other documents submitted by the applicant;
 - 5.1.1.2 internal and/or external referral responses; and
 - 5.1.1.3 any report from Council staff or an external planning consultant written for the Assessment Manager;
 - 5.1.2 any assessment checklist used by the Assessment Manager when making the decision on the Prescribed Matter;
 - 5.1.3 any written submission, including additional information or materials, prepared by the applicant pursuant to Clause 4.1;

- 5.1.4 a report prepared by the Assessment Manager (or delegate) setting out the details of the relevant development application; the Prescribed Matter; an assessment of any additional information and/or materials provided by the applicant pursuant to Clause 4.1 (including, where appropriate, whether the additional information changes the Assessment Manager's original decision on the Prescribed Matter); and the reasons for the Assessment Manager decision on the Prescribed Matter; and
- 5.1.5 any further information requested by the Presiding Member or CAP.
- 5.2 After the completion of the requirements in Clause 5.1, the Assessment Manager should assign the review application to the next available CAP ~~Panel~~ meeting.
- 5.3 The documents identified in Clause 5.1 will be included as Attachments to the agenda item.
- 5.4 The Assessment Manager must, by written notice to the applicant:
 - 5.4.1 advise the applicant of the time and date of the CAP meeting at which the review application will be heard; and
 - 5.4.2 inform the applicant of their right to appear and make submissions in person to the Panel at the hearing; and
 - 5.4.3 invite the applicant to confirm in writing at least 2 business days prior to the hearing whether he or she wishes to be heard,
not less than 5 business days before the meeting.
- 6. Review hearing**
- 6.1 On review, the CAP will consider the Prescribed Matter afresh.
- 6.2 The CAP will not hear from any party other than the applicant (and / or their representative) and the Assessment Manager.
- 6.3 An applicant will be allowed five minutes to address the CAP. The Presiding Member may allow additional time at his or her discretion.
- 6.4 Where an applicant is heard by the CAP, the Assessment Manager will be allowed five minutes to respond to any issues raised by the applicant. The Presiding Member may allow additional time at his or her discretion.
- 6.5 CAP members may ask questions and seek clarification from the applicant and / or Assessment Manager at the conclusion of their addresses.
- 6.6 Whether or not the applicant chooses to be heard by the CAP, the Assessment Manager should be present at the CAP meeting to respond to any questions or requests for clarification from the CAP.
- 6.7 Following any addresses from the applicant and / or Assessment Manager, the Presiding Member will invite all CAP Members to speak on any matter relevant to the review.
- 6.8 The CAP may resolve to defer its decision if it considers it requires additional time, or additional information from the applicant or the Assessment Manager (including legal or other professional advice), to make its decision.
- 6.9 The deferral will be to the next ordinary meeting of the CAP, or such longer period of time as is determined by the CAP and/or the Presiding Member in consultation with the Assessment Manager to enable the information sought to be obtained and considered.
- 6.10 Where an applicant is to provide further information to a CAP pursuant to Clause 6.8, the information must be provided within the time specified by the CAP and in a manner specified in Clause 8.
- 6.11 Where an Assessment Manager is to provide further information to the CAP pursuant to Clause 6.8, a copy of the information must also be provided to the applicant not less than five (5) business days before the meeting at which it will be considered by the CAP.

7. Outcome on review hearing

7.1 The CAP may, on a review:

7.1.1 affirm the Assessment Manager's decision on the Prescribed Matter;

7.1.2 vary the Assessment Manager's decision on the Prescribed Matter; or

7.1.3 set aside the Assessment Manager's decision on the Prescribed Matter and substitute its own decision.

7.2 An applicant should be advised in writing of the CAP's decision by the Assessment Manager (or delegate) within a reasonable time.

8. Lodging written materials & documents with the CAP

8.1 All documents and written communications with the CAP must be lodged via:

8.1.1 the SA Planning Portal (to the extent the Portal is able to receive such a submission);

8.1.2 email to: developmentassessment@npsp.sa.gov.au; or

8.1.3 hand-delivery or post to 175 The Parade Norwood 5067

9. Draft resolutions

The draft resolutions below are intended to provide guidance to the CAP as to how it might word resolutions to give effect to the decisions it makes on review. CAP may adopt this wording, or amend it as appropriate.

9.1 Resolution to affirm a decision of the Assessment Manager:

The Council Assessment Panel resolves to affirm the decision of the Assessment Manager [insert description of decision, for example:]

- *that the application is not seriously at variance with the Planning and Design Code (disregarding minor variations) and that planning consent be granted to DA No [insert] for [insert nature of development] subject to the [insert number] of conditions imposed by the Assessment Manager*
- *that DA No [insert] is classified as code assessed (performance assessed) development*
- *that the application is not seriously at variance with the Planning and Design Code (disregarding minor variations), but that DA No. [insert] does not warrant planning consent for the following reasons:*

9.2 Resolution to vary a decision of the Assessment Manager:

The Council Assessment Panel resolves to vary the decision of the Assessment Manager in relation to DA No [insert] by deleting condition [insert number] of planning consent and replacing it with the following condition:

[insert varied condition]

9.3 Resolution to set aside a decision of the Assessment Manager:

The Council Assessment Panel resolves to set aside the decision of the Assessment Manager to [insert description of decision being reversed, for example, refuse planning consent to DA No [insert]] and substitute the following decision:

- *DA No [insert] is not seriously at variance with the Planning and Design Code (disregarding minor variations) and that planning consent is granted to the application subject to the following conditions:*

9.4 Resolution to defer review hearing:

The Council Assessment Panel resolves to defer its decision in relation to its review of the decision of the Assessment Manager to [insert description of the decision] in relation to DA No [insert] until:

- *the next ordinary meeting of the Panel;*
- *the next ordinary meeting of the Panel after [insert additional information which has been requested by the Panel] is provided*
- *until the next ordinary meeting of the Panel after [insert date (i.e. giving an applicant 2 months to provide information)] (etc).*

REVIEW PROCESS

The Council Assessment Panel will review this Policy within five (5) years of the adoption date of the Policy.

INFORMATION

The contact officer for further information at the City of Norwood Payneham & St Peters is the Council's General Manager, Urban Planning & Environment, telephone 8366 4555.

ADOPTION OF THE POLICY

This Policy was adopted by the Council Assessment Panel on 21 October 2024.

TO BE REVIEWED

This Policy will be reviewed in October 2029.

APPLICATION TO ASSESSMENT PANEL¹

Decision Review Request

Prescribed form pursuant to section 203(1) for review of a decision of an Assessment Manager under section 202(1)(b)(i)A) of the *Planning, Development and Infrastructure Act 2016* (Act)

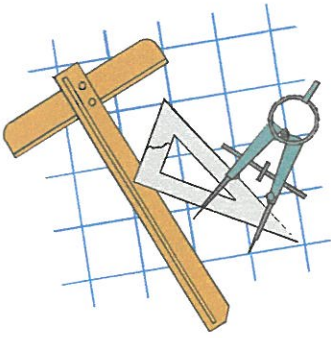
Applicant details:	Name: Kim Lau Phone: Email: lleng9955@gmail.com Postal address: 38 Elderslie Avenue Fitzroy SA 5082
Development Application Number:	24031118
Subject Land:	89 EIGHTH AV ST PETERS SA 5069 CT 6152/747 PLAN D93154 AL2 <i>[street number, street name, suburb, postcode]</i> <i>[lot number, plan number, certificate of title number, volume and folio]</i>
Date of decision of the Assessment Manager:	1 NOVEMBER 2024
Decision (prescribed matter²) for review by Assessment Panel:	Refused Variation of DA 24015340 to include a boundary wall
Reason for review:	The variation requested is not out of character with the area given numerous examples of buildings with wall on the boundary in the same street. Refer to attached pages. <i>[Briefly state the facts, circumstances and other relevant matters upon which this application is based. Attach additional pages as necessary]</i>
Do you wish to be heard by the Assessment Panel?	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No
Date:	December 26 th 2024
Signature:	 <input type="checkbox"/> If being lodged electronically please tick to indicate agreement to this declaration.

¹ This application must be made through the relevant facility on the SA planning portal. To the extent that the SA planning portal does not have the necessary facilities to lodge this form, the application may be lodged—

- (i) by email, using the main email address of the relevant assessment panel; or
(ii) by delivering the application to the principal office or address of the relevant assessment panel.

² Prescribed matter, in relation to an application for a development authorisation, means—

- (a) any assessment, request, decision, direction or act of the Assessment Manager under the Act that is relevant to any aspect of the determination of the application; or
(b) a decision to refuse to grant the authorisation; or
(c) the imposition of conditions in relation to the authorisation; or
(d) subject to any exclusion prescribed by the regulations, any other assessment, request, decision, direction or act of the assessment manager under the Act in relation to the authorisation.



LIONEL OWEN
DESIGN & CONSULTING
Certified Construction Professional MBASA
BLD 194439

Truss Roof Installation Inspection Certificate MBA 00039561
P.O. Box 140 Para Hills SA 5096
Mobile 0409 693 196
Email: lionel@lodac.biz

26th December 2024

Norwood Payneham & St Peters Council

Attention : Development Assessment Panel

RE: Refusal of Application ID: 24031118 89 EIGHTH AV ST PETERS SA 5082

Dear Panel Members,

I am submitting this information on behalf of Ms Kim Lau in relation to the above matter.

Firstly I would like to point out that this application was lodged on 4 October 2024 with the refusal being made on 1 November 2024. At the time of application on the Plan SA portal council have 20 working days in which to approve or refuse and it appears that the council waited until the last of the 20 working days to issue the refusal.

A copy of the emails I have received and the DNF dated 1 November are attached.

You will note in the email there is mention of previous discussions between my self and the planning officer, these were around the wall on the boundary which at the time the planning officer sent me a hand drawn example of what council would accept for a boundary wall. As can be seen it is very unsightly and detracts from the design of the house giving an appearance of an addition done at a later date. Not only is it not consistent with the proposed house design it would detract significantly the value of the house being constructed. A copy of the email dated 12 July is attached so you may read the section relating to Boundary Walls, where among matters the council state that in their study of the locality *"I saw only one dwelling wall located on the boundary at 101 Eighth Ave"*.

I however beg to differ as my own checking in the locality found that there is numerous examples of dwelling walls on the boundary including several which are over the 3.2m height, a couple of them even have the walls constructed as gable ends right on the boundary.

The dwellings I noticed with walls on boundaries in Eighth Avenue are as follows, 61, 101, 76, 80, 82, 111, 90, 90A, 119, 92, 125, 125A, 131, 102. In Seventh Ave there are also several examples with the most noticeable being 89 that is still currently under construction.

Included you will see pictures of these properties showing the dwelling walls on the boundary, all of which show clearly that *none of these dwellings* have a wall on the boundary that has been

BUILDING CONTRACTOR - PROJECT DESIGN - PLANS
COMMERCIAL - SUPERVISION

constructed in the unsightly manner suggested by council but all in fact have the boundary wall to be constructed so as to be seen as an intended part of the construction.

Given all of this information I would ask the Assessment Panel would find in favour of my client Ms Kim Lau giving consideration that the requested variation to the dwelling that has been given Planning Consent DA 24015340 21 August 2024 is consistent with a considerable number of current dwellings in the immediate locality.

The proposed construction and landscaping would partially conceal that side of the dwelling from the street, similar to what other dwellings have done to partially conceal the boundary wall.

I would request that this matter be listed for review at the next available Assessment Panel meeting.

Should you have any further enquiries, please feel free to contact me at any time.

Regards,

A handwritten signature in blue ink, appearing to read 'Lionel Owen', written in a cursive style.

Lionel Owen
CCP

DECISION NOTIFICATION FORM

Section 126(1) of the Planning, Development and Infrastructure Act 2016

TO THE APPLICANT(S):

Name: Kim Lau
Postal address: 38 ELDERSLIE AVENUE FITZROY SA 5082
Email: ly.leng@hotmail.com

IN REGARD TO:

Development application no.: 24031118	Lodged on: 4 Oct 2024
Nature of proposed development: Variation of Development Application 24015340 to include a boundary wall	

LOCATION OF PROPOSED DEVELOPMENT:

Location reference: 89 EIGHTH AV ST PETERS SA 5069		
Title ref.: CT 6152/747	Plan Parcel: D93154 AL2	Council: THE CITY OF NORWOOD PAYNEHAM AND ST PETERS

DECISION:

Decision type	Decision (granted/refused)	Decision date	No. of conditions	No. of reserved matters	Entity responsible for decision (relevant authority)
Planning Consent	Refused	1 Nov 2024			Assessment Manager at City of Norwood, Payneham and St. Peters
Building Consent					To be Determined
Development Approval - Planning Consent; Building Consent					City of Norwood, Payneham and St. Peters

FROM THE RELEVANT AUTHORITY: Assessment Manager - Section 96 - Performance Assessed at City of Norwood, Payneham and St. Peters
Date: 4 Nov 2024

REFUSAL REASONS

Planning Consent

The proposed boundary wall is inconsistent with prevailing side setback pattern of the locality and Character Area, therefore being inconsistent with Established Neighbourhood Zone Performance Outcome 8.1, and Character Area Overlay Performance Outcomes 2.1 and 2.4. It would also result in an eave form that would make it inconsistent with Character Area Overlay Performance Outcomes 1.1, 2.1 and 2.3.

ADVISORY NOTES

Planning Consent

Appeal Rights - General rights of review and appeal exist in relation to any assessment, request, direction or act of a relevant authority in relation to the determination of this application, including conditions.

CONTACT DETAILS OF CONSENT AUTHORITIES

Name: City of Norwood, Payneham and St. Peters	Type of consent: Planning
Telephone: 0883664530	Email: developmentassessment@npsp.sa.gov.au
Postal address: PO Box 204, Kent Town SA 5071	

Ned Feary

From: Ned Feary
Sent: Friday, 1 November 2024 12:34 PM
To: 'lionel@lodac.biz'
Subject: RE: Variation Request- 89 Eighth Ave, St Peters

Hi Lionel,

I have now completed my assessment of this variation, and have again concluded that I cannot support the proposed boundary wall, because it results in a form that is not consistent with the streetscape character of the area.

Given our previous discussions regarding potential amendments, I gather that there is no way that this can be amended such that I can support it, and you and your clients would also be satisfied. Therefore, I will recommend that the application be refused. This will need to be endorsed by my Manager; there is a chance that he disagrees with my view, in which case I will let you know, but otherwise you will receive an automated email through the portal with the DNF, probably early next week.

If you wish to pursue a review of this decision by the Council Assessment Panel, you can find the relevant forms on the PlanSA website at:

https://plan.sa.gov.au/resources/forms/application_to_assessment_panel_for_review_of_assessment_managers_decision

Please let me know if I can provide any further clarification.

Thanks,
Ned Feary
Senior Urban Planner

City of Norwood Payneham & St Peters
175 The Parade, Norwood SA 5067
Telephone 8366 4531
Email nfeary@npsp.sa.gov.au
Website www.npsp.sa.gov.au

From: Ned Feary
Sent: Tuesday, September 17, 2024 12:35 PM
To: lionel@lodac.biz
Subject: Variation Request- 89 Eighth Ave, St Peters

Hi Lionel,

I have received your variation request to add the boundary wall back in for this DA. This is obviously not a minor variation, and as we have discussed before, I cannot support such a boundary wall for this development.

I will verify the variation as a "variation- not minor", which will send you an automated email and letter. This will also create a draft application in your "drafts" tab on the portal. From there, you can proceed to fill out this application as normal, and it will be appropriately linked in the portal. The only thing to note is that the cost of the development should be the difference in cost between the original proposal, and the "as varied" proposal.

I will then conduct a further assessment of just the boundary wall component, however given how thoroughly this was assessed in the first instance, I doubt that I will come to any conclusion other than to refuse it in that assessment. Therefore, if that variation application is refused, you can proceed to appeal that decision to the Council Assessment Panel or ERD Court as you see fit.

Please let me know if I can provide any further clarification.

Thanks,
Ned Feary
Senior Urban Planner

Ned Feary

From: Ned Feary
Sent: Friday, 12 July 2024 11:16 AM
To: 'lionel@lodac.biz'
Subject: RE: Planning Application- 89 Eighth Ave, St Peters

Hi Lionel,

I have now undertaken a more detailed study of the locality in order to provide further advice as to how to resolve the issue of upper floor prominence. For the sake of clarity, I will go through the four points that I raised in my previous email, and summarise both what we have already discussed and also any additional points to note.

Building Footprint/Soft Landscaping

As we have discussed previously, the removal of the proposed driveway on the Eighth Ave frontage and replacement of this with soft landscaping is sufficient to address my concerns here.

Boundary Walls

In my study of the locality, I saw only one dwelling wall located on the boundary at 101 Eighth Ave. As we have discussed, I consider this dwelling to be generally inconsistent with the locality, and it is not something that we would support today.

As we have discussed however, I am open to a "disguised" boundary wall form that would appear to the street as though there is a gap between buildings, consistent with the example diagram that I sent through earlier. I would also suggest that the height of the wall on the boundary should be no more than 3.2m from natural ground level in order to avoid public notification, but this would nonetheless allow you to retain the ceiling height for most of the room, and it would just be the portion under the flat roof on the boundary that would be lower.

Upper Floor Prominence

The locality does predominately present to the street with a single storey appearance, though there are some examples of outwardly two storey development. There are more examples of relatively hidden upper floors, such as 91 Eighth Ave, 85 Eighth Ave and 58 Eighth Ave. These are not visible from directly in front but are visible at an oblique view. As such, I think an outcome more along these lines would be acceptable.

I note that you advised previously that only 487mm of the upper floor is showing. This would prevent views of the upper floor from the footpath directly in front of the property, but it would be too prominent from the opposite side of the road.

The obvious way to fix this would be to increase the ridge height for that roof so that it covers the whole of the upper floor height (though obviously oblique views would still be possible, as is the case with those other examples above). While increasing the pitch would hide this even further, the proposed 35 degree pitch is already at the upper end of what would be considered to be consistent with surrounding roof forms as sought by the Character Area Overlay, so I think the pitch should not be increased beyond the 35 degrees already proposed.

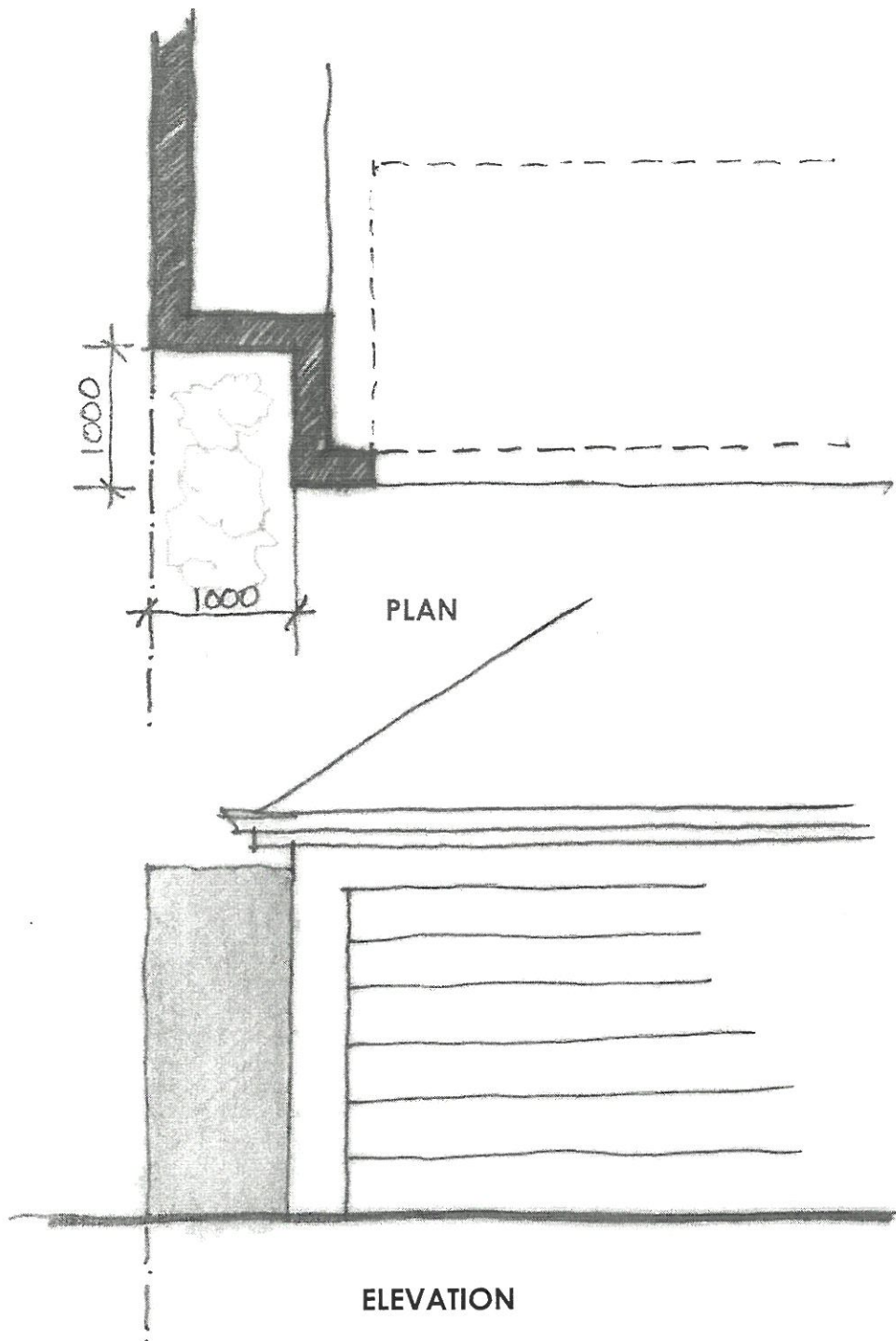
Architectural Style

We haven't really discussed this point so I will just reiterate what I said earlier about the French provincial style being inconsistent with the Character Area Overlay, and that it needs to include the more traditional eave and verandah forms found on the villas, cottages and bungalows that are the predominant form in the Character Area.

I hope this makes sense and that these changes are achievable, but let me know if you have any questions or concerns with this approach.

Thanks,
Ned Feary
Senior Urban Planner

City of Norwood Payneham & St Peters
175 The Parade, Norwood SA 5067
Telephone 8366 4531
Email nfeary@npsp.sa.gov.au
Website www.npsp.sa.gov.au



GARAGE ON BOUNDARY
600mm separation
1:50 @ A4



City of
Norwood
Payneham
& St Peters



61 EIGHTH AVE.



101 EIGHTH AVE. (EXCESSIVE HEIGHT)



101 EIGHTH AVE.



76 EIGHTH AVE. (2 SECTIONS OF HOKE ON BOUNDARY.)
EXCESSIVE HEIGHT & CABLES.



78 EIGHTH AVENUE (EXCESSIVE HEIGHTS + GABLE ENDS)



80 EIGHTH AVE.



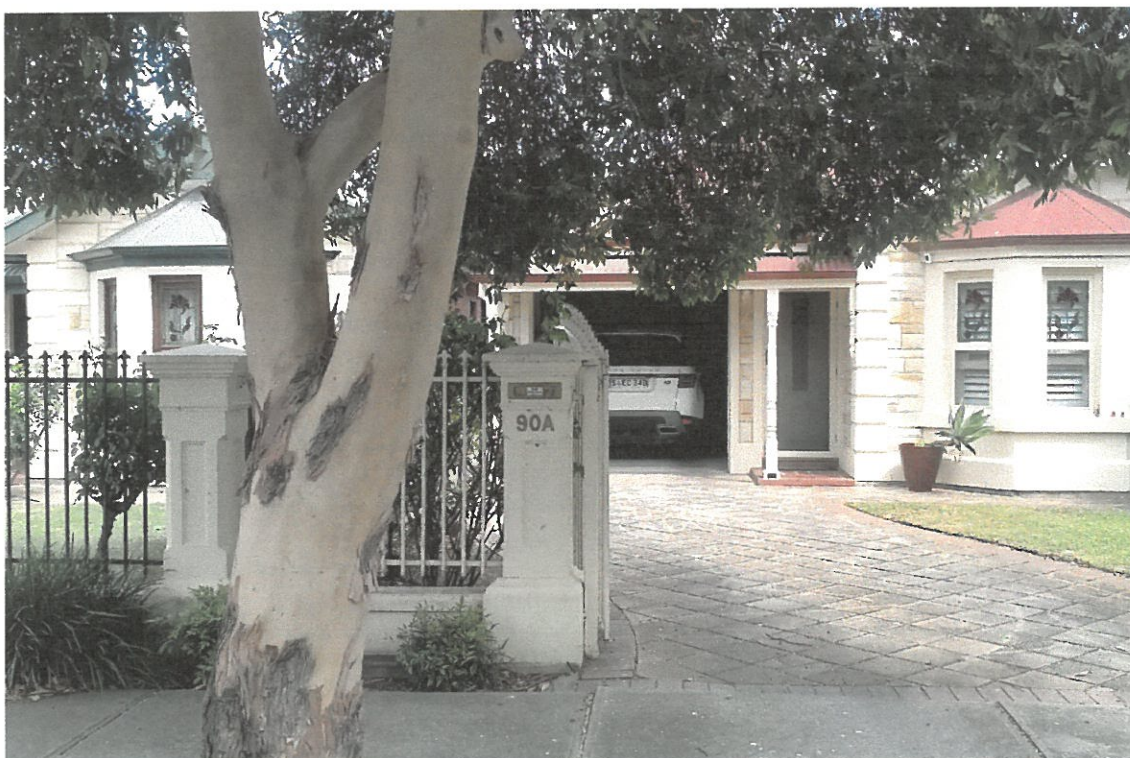
82 EIGHTH AVE.



111 EIGHTH AVE.



90 EIGHTH AVE.



90A EIGHTH AVE.



119 EIGHTH AVE.



92 EIGHTH. AVE.



125 EIGHT AVE



131 EIGHTH AVE.



102 EIGHTH AVE.



104 SEVENTH AVE.



89 SEVENTH AVE.

DECISION NOTIFICATION FORM

Section 126(1) of the Planning, Development and Infrastructure Act 2016

TO THE APPLICANT(S):

Name: Kim Lau
Postal address: 38 ELDERSLIE AVENUE FITZROY SA 5082
Email: ly.leng@hotmail.com

IN REGARD TO:

Development application no.: 24031118	Lodged on: 4 Oct 2024
Nature of proposed development: Variation of Development Application 24015340 to include a boundary wall	

LOCATION OF PROPOSED DEVELOPMENT:

Location reference: 89 EIGHTH AV ST PETERS SA 5069		
Title ref.: CT 6152/747	Plan Parcel: D93154 AL2	Council: THE CITY OF NORWOOD PAYNEHAM AND ST PETERS

DECISION:

Decision type	Decision (granted/refused)	Decision date	No. of conditions	No. of reserved matters	Entity responsible for decision (relevant authority)
Planning Consent	Refused	1 Nov 2024			Assessment Manager at City of Norwood, Payneham and St. Peters
Building Consent					To be Determined
Development Approval - Planning Consent; Building Consent					City of Norwood, Payneham and St. Peters

FROM THE RELEVANT AUTHORITY: Assessment Manager - Section 96 - Performance Assessed at City of Norwood, Payneham and St. Peters
Date: 4 Nov 2024

REFUSAL REASONS

Planning Consent

The proposed boundary wall is inconsistent with prevailing side setback pattern of the locality and Character Area, therefore being inconsistent with Established Neighbourhood Zone Performance Outcome 8.1, and Character Area Overlay Performance Outcomes 2.1 and 2.4. It would also result in an eave form that would make it inconsistent with Character Area Overlay Performance Outcomes 1.1, 2.1 and 2.3.

ADVISORY NOTES

Planning Consent

Appeal Rights - General rights of review and appeal exist in relation to any assessment, request, direction or act of a relevant authority in relation to the determination of this application, including conditions.

CONTACT DETAILS OF CONSENT AUTHORITIES

Name: City of Norwood, Payneham and St. Peters	Type of consent: Planning
Telephone: 0883664530	Email: developmentassessment@npsp.sa.gov.au
Postal address: PO Box 204, Kent Town SA 5071	

ASSESSMENT REPORT

DEVELOPMENT NO.:	24031118
APPLICANT:	Kim Lau
NATURE OF DEVELOPMENT:	Variation of Development Application 24015340 to include a boundary wall
ZONING INFORMATION:	<p>Zones:</p> <ul style="list-style-type: none"> • Established Neighbourhood <p>Overlays:</p> <ul style="list-style-type: none"> • Airport Building Heights (Regulated) • Character Area • Hazards (Flooding - General) • Prescribed Wells Area • Regulated and Significant Tree • Stormwater Management • Urban Tree Canopy <p>Technical Numeric Variations (TNVs):</p> <ul style="list-style-type: none"> • Minimum Frontage (Minimum frontage for a detached dwelling is 15m; semi-detached dwelling is 10m) • Minimum Site Area (Minimum site area for a detached dwelling is 500 sqm; semi-detached dwelling is 500 sqm) • Maximum Building Height (Levels) (Maximum building height is 2 levels) • Minimum Side Boundary Setback (Minimum side boundary setback is 1.5m for the first building level; 3m for any second building level or higher) • Site Coverage (Maximum site coverage is 50 per cent)
LODGEMENT DATE:	4 Oct 2024
RELEVANT AUTHORITY:	Assessment panel/Assessment manager at City of Norwood, Payneham and St. Peters
PLANNING & DESIGN CODE VERSION:	P&D Code (in effect) Version 2024.17 12/9/2024

DETAILED DESCRIPTION OF PROPOSAL:

The development granted Planning Consent at this address currently has an approved southwestern side boundary setback of 960mm. The proposed variation would reduce this setback to nil, resulting in a wall on the boundary of 6.59m in length and 3.096m in height from the top of the footings. The applicant has determined this height to ensure that it does not result in a wall exceeding 3.2m in height from natural ground level, since that would require public notification.

Amending this setback has a flow-on effect to the roof form. The form is now more elongated, and no longer has a traditional eave, but rather now has a boundary gutter arrangement.

LOCATION OF DEVELOPMENT:

Location reference: 89 EIGHTH AV ST PETERS SA 5069

Title ref.: CT
6152/747

Plan Parcel:
D93154 AL2

Council: THE CITY OF NORWOOD PAYNEHAM
AND ST PETERS

CONSENT TYPE REQUIRED:

Planning Consent

CATEGORY OF DEVELOPMENT:

- **PER ELEMENT:**
Detached dwelling: Code Assessed - Performance Assessed
New housing
- **OVERALL APPLICATION CATEGORY:**
Code Assessed - Performance Assessed
- **REASON**
P&D Code; Includes boundary wall despite TNV not envisaging a boundary wall

PUBLIC NOTIFICATION

No

- **REASON**
Proposed boundary wall complies with the dimensions outlined in the relevant test for public notification.

AGENCY REFERRALS

None

INTERNAL REFERRALS

None

PLANNING & DESIGN CODE POLICIES

ENZ PO 7.1: Walls on boundaries are limited in height and length to manage visual and overshadowing impacts on adjoining properties.

ENZ PO 8.1: Buildings are set back from side boundaries to provide:

- a) separation between buildings in a way that complements the established character of the locality
- b) access to natural light and ventilation for neighbours.

ENZ PO 10.2: The appearance of development as viewed from public roads is sympathetic to the wall height, roof forms and roof pitches of the predominant housing stock in the locality.

CAO PO 1.1: All development is undertaken having consideration to the valued attributes expressed in the Character Area Statement.

Note that the Character Area Statement includes “Traditional pre-1940s roof forms, eaves, front verandah treatments, window proportions.”, with the eaves being the relevant part of this for this assessment.

CAO PO 2.1: The form of new buildings and structures that are visible from the public realm are consistent with the valued streetscape characteristics of the character area.

CAO PO 2.3: Design and architectural detailing of street-facing buildings (including but not limited to roof pitch and form, openings, chimneys and verandahs) are consistent with the prevailing characteristics in the character area.

CAO PO 2.4: Development is consistent with the prevailing front and side boundary setback pattern in the character area.

LOCALITY

I have defined a locality that extends:

- 230m along Eighth Ave to the northeast
- 180m to the southwest along Eighth Ave
- 180m along the northeastern side of Seventh Ave
- 180m along the southwestern side of Ninth Ave

SAPPA Report

The SA Property and Planning Atlas is available on the Plan SA website: <https://sappa.plan.sa.gov.au>

Date created:
November 1, 2024

Locality- 89 Eighth Ave St Peters



Disclaimer: The information provided above, is not represented to be accurate, current or complete at the time of printing this report. The Government of South Australia accepts no liability for the use of this data, or any reliance placed on it.

The locality is entirely within the Established Neighbourhood Zone and the Character Area Overlay. It is made up of predominantly pre-1940's dwellings, though there is a notable minority of newer dwellings, often prior to the introduction of the Residential Character Zone in 2015.

PLANNING ASSESSMENT

On 10 July 2024, when assessing the original application, I conducted an inspection of the locality to assess the pattern of boundary walls in the streetscape. In this assessment, I noted three boundary walls being located at:

- 69 Eighth Ave
 - Colonial revival or “Australian nostalgic” style dwelling representing the 1980’s Australia nostalgia which incorporated elements which may have appeared to reference traditions, but were generally not traditional (e.g. lacework on verandahs, as is the case with this dwelling). Constructed in 1989 according to Valuer-General’s data.
 - This was a boundary garage, with the roof having a gable end on the boundary, making it a roof form more consistent with the forms otherwise seen in the Character Area.
- 31 Winchester St
 - An outwardly two-storey dwelling inconsistent with the current policies but developed prior to the character policies being introduced. The dwelling is in a

similar “colonial revival” style, though is more recently developed (2010 according to Valuer-General's data)

- This also has a boundary garage, being located off the secondary street (Eighth Ave). The form of this boundary wall is more “ordinary” with a similar boundary gutter profile as proposed in this variation.
- 101A Eighth Ave
 - Also an outwardly two-storey dwelling which would similarly be inconsistent with the current policies, but was developed prior to the character policies being introduced. Again, the dwelling is in a “colonial revival” style, though is more recently developed (2008 according to Valuer-General's data).
 - This was also for a garage, though a more integrated garage design than others. As with 31 Winchester St, it has a standard boundary gutter design, similar to what is proposed in this variation.

While there were carports located on the boundary, these examples represented the only boundary walls which were perceptible from the street. There may be other boundary walls further afield, but this represented a walk of about 100m to the northeast and 180m to the southwest. It is also noted that this does not represent a study of the whole locality, only the Eighth Avenue streetscape.

To extend the northeastern distance to equal the distance to the southwest, I looked through streetview imagery and found additional boundary walls at:

- 82 Eighth Ave
 - A contemporary style dwelling with a double garage with a boundary wall;
 - Constructed 2013, again prior to the introduction of character policies.
- 111 Eighth Ave
 - Another contemporary style dwelling, outwardly two storey, again with a boundary garage;
 - Constructed in 2011, prior to the introduction of character policies.
- 80 Eighth Ave
 - A replica style dwelling, again with a double garage with a boundary wall;
 - Constructed in 2012, prior to the introduction of character policies.
- 78 Eighth Ave
 - Difficult to characterise in terms of architectural style, a single garage sits forward of the dwelling, with the main building having a gabled-ended boundary wall;
 - While Valuer-General's data indicates that this was built in 1946, the dwelling's appearance suggests that this is not correct, or that it has been extensively altered.
- 76 Eighth Ave

- Cream brick dwelling with two boundary walls, one at the rear for a living space, and a single garage under the main roof with window cut-outs making it partially open;
- These boundary walls are again gable ended.
- Constructed in 1976.

Of the 41 dwellings in this sample then, eight have boundary walls (19.5%). From this exercise, I take the following:

1. None of the dwellings which have walls on the boundary are the “traditional pre-1940's” dwelling stock that the Character Area Statement says characterises the character area;
2. All bar one of the boundary walls close to the street is for a garage;
3. None of the dwellings which have boundary walls were approved either under the current policy or its Development Plan predecessor;
4. There is a small cluster of boundary walls from 76-82 Eighth Ave which arguably skew this sample.

It is noted that CAO PO 2.1, 2.3 and 2.4 refer to the Character Area, however given the sheer size of the Character Area, an analysis to find every single boundary wall in the Character Area was considered impractical. Rather, the analysis that was conducted related to the immediate streetscape, which is considered more relevant to the actual context and setting of the development.

It is further noted that the Character Area has a TNV for a side boundary setback of 1.5m, suggesting that the Character Area generally has a pattern of setbacks in the order of this figure, though this will inevitably vary depending on locality.

That 1.5m TNV is a transfer from the Development Plan, specifically the Residential Character Zone, St Peters/Joslin/Royston Park Policy Area, PDC 4. This specifies a “Minimum setback from one side boundary” in St Peters, College Park and Joslin of 1.5m. It also includes an asterisk, which states:

Single storey boundary development may occur on one side boundary for a garage, carport, small addition (such as an ensuite or walk-in robe addition) or in the case of semi-detached dwellings, for a party wall.

I interpret this policy as saying that there should be a side boundary setback of 1.5m on one side, but on the other side, there may be a boundary carport/garage or dwelling addition. Notably, that type of addition is of a form where this would typically be a recessively designed addition to a main dwelling, meaning that its streetscape impact is minimised. It was generally expected that it would have a flat roof sitting under the eave of the main dwelling, so that this roof form's streetscape appearance could be maintained.

Though this Development Plan policy is obviously not relevant to this assessment, I would be of the view that the proposed wall would be inconsistent with this PDC, because the boundary wall being such an integrated part of the design of the main building, rather than a separate, recessive element, means that the streetscape pattern is not maintained.

With that context in mind, I will consider each of the relevant Code policies listed above in turn:

- ENZ PO 7.1

- This PO relates generally to the impact on neighbouring properties, with 8.1 relating more to the streetscape;
- The boundary wall TNV was intended as a streetscape outcome rather than relating to impact on neighbours, given the wording of the Development Plan policy;
- The proposed wall complies with the dimensions generally envisaged for a boundary wall in the ENZ;
- Its impact on neighbours is considered reasonable.
- ENZ PO 8.1
 - Given the comments above, part b is considered satisfied, so I will only consider part a:
 - *separation between buildings in a way that complements the established character of the locality*
 - As noted in the analysis above, nearly 20% of dwellings in the immediate streetscape have boundary walls, the vast majority being garages. However, these were approved under very different policy, and half of these are in a smaller cluster on the outer edge of the area that was studied;
 - A garage has a different character implication from a living room, as even under the main roof, they can be visually distinct from the main building (hence the specificity in the previous Development Plan policy);
 - I am therefore of the view that the established character of the locality is to not have a living room on the boundary;
 - I am also of the view, particularly considering further the points below, that the proposal to have a living room on the boundary is not complementary to that established character.
- ENZ PO 10.2
 - As this PO seeks for roof forms to be “sympathetic” it is hard to determine what exactly this intends;
 - It does not specifically refer to eave forms, rather the roof form more broadly;
 - The proposed variation is not considered to be contrary to this policy, but nor is it entirely consistent with it.
- CAO PO 1.1
 - The Character Area Statement reflects “pre 1940’s” buildings, which did not have living rooms on the boundary, and which had overhanging eaves;
 - Given that the separation between dwellings is not specifically listed as a valued attribute in the Character Area Statement, the lack of a side boundary setback in

and of itself is not directly contradictory to the Character Area Statement, but it is contradictory to its implications;

- I would argue that the current Character Area Statement is poorly worded and formatted given the rushed transition from the Development Plan to the P&D Code, which has not helped in this assessment. This provides further weight to an argument that these statements should be revised, though this is a matter quite separate from this application;
 - Nonetheless, the eave form is specifically listed as part of the valued “Architectural styles, detailing and built form features” for the Character Area. The proposed boundary wall would not have an eave, and it is therefore inconsistent with this valued attribute of the Character Area Statement;
 - For the sake of background, the original proposal sought to have no eaves at all, and was more of a French provincial style. The applicant was advised that this was inconsistent with this and other policies of the Character Area Overlay, and it was requested that they make amendments.
- CAO PO 2.1
 - See above- this PO is largely similar to PO 1.1, though noting that this PO refers specifically to streetscape characteristics, and the issues of this application are streetscape characteristics.
- CAO PO 2.3
 - Similar to the above, the prevailing characteristics of the character area are to have an eave overhang.
 - The fact that the proposal does not have an eave overhang, particularly considering that it also lacks a traditional front verandah treatment and is pushing the boundaries of what can be considered a “traditional material” mean that its design and architectural detailing is not considered to be consistent with the prevailing characteristics of the character area.
- CAO PO 2.4
 - As above, albeit with relation to the boundary wall, rather than the eave form.
 - It is noted that this policy seeks for consistency with the prevailing character, compared to ENZ PO 8.1 which seeks to complement the established character;
 - This difference may seem subtle, but clearly seeks for a higher bar for developments in the Character Area, when compared to developments in the ENZ but outside of the Overlay.

Therefore, it is considered that the proposed variation is inconsistent with a series of policies in the ENZ and CAO, and therefore the application should be refused.

Given that it does involve a residential development in a predominantly residential zone, it is not considered *seriously* at variance, but the variance is substantial enough that it does not warrant consent.

RECOMMENDATION

The proposed development is not considered seriously at variance with the relevant Desired Outcomes and Performance Outcomes of the Planning and Design Code pursuant to section 107(2)(c) of the *Planning, Development and Infrastructure Act 2016*.

REFUSE PLANNING CONSENT

REASONS FOR REFUSAL

The proposed boundary wall is inconsistent with prevailing side setback pattern of the locality and Character Area, therefore being inconsistent with Established Neighbourhood Zone PO 8.1, and Character Area Overlay POs 2.1 and 2.4. It would also result in an eave form that would make it inconsistent with Character Area Overlay POs 1.1, 2.1 and 2.3.

OFFICER MAKING RECOMMENDATION

Name: Edmund Feary

Title: Senior Urban Planner

Date: 1 November 2024

DECISION AUTHORITY

Relevant Authority: Assessment panel/Assessment manager at City of Norwood, Payneham and St. Peters

Consent: Planning Consent

Date: 1 November 2024

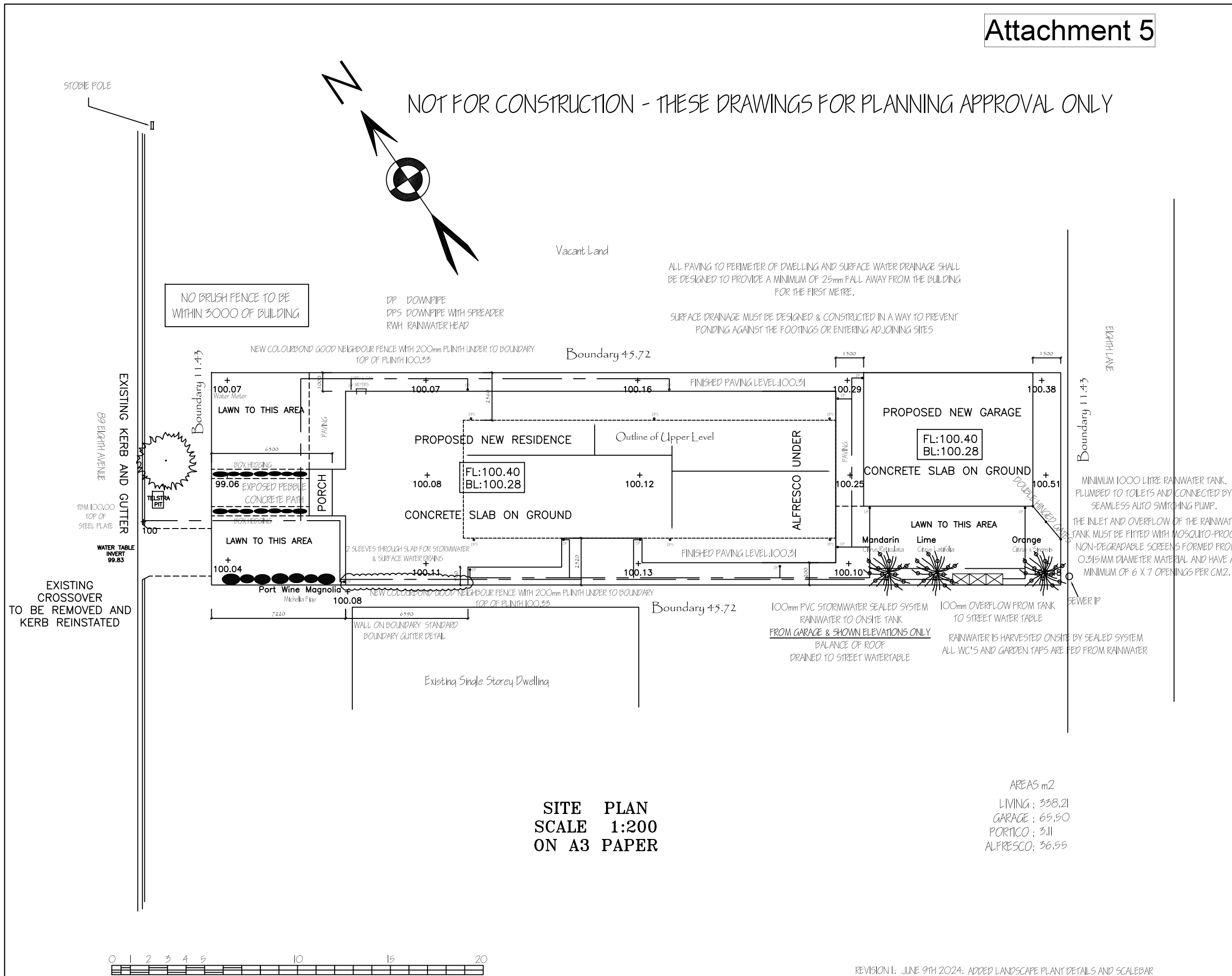
Delegation Policy: NPSP Delegations

Delegate Name: Edmund Feary

Delegate Title: Senior Urban Planner

Attachment 5

NOT FOR CONSTRUCTION - THESE DRAWINGS FOR PLANNING APPROVAL ONLY



NO BRUSH FENCE TO BE WITHIN 3000 OF BUILDING

DP DOWNPIPE
DPS DOWNPIPE WITH SPREADER
RWV RAINWATER HEAD

ALL PAVING TO PERIMETER OF DWELLING AND SURFACE WATER DRAINAGE SHALL BE DESIGNED TO PROVIDE A MINIMUM OF 25mm FALL AWAY FROM THE BUILDING FOR THE FIRST METRE.

SURFACE DRAINAGE MUST BE DESIGNED & CONSTRUCTED IN A WAY TO PREVENT PONDING AGAINST THE FOOTINGS OR ENTERING ADJOINING SITES

Vacant Land

EXISTING CROSSOVER TO BE REMOVED AND KERB REINSTATED

SITE PLAN
SCALE 1:200
ON A3 PAPER

AREAS m2
LIVING : 338.21
GARAGE : 65.50
PORTICO : 3.11
ALFRESCO : 36.55

NOTES:

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Gypsum Board linings to be installed to Level 4 finish in accordance with AS/NZS 2589:1

All manufactured products must be installed in accordance with manufacturers specifications and requirements.

Energy efficiency rating as per FirstRate5 assessment to achieve 6 Star Rating as a minimum.

All Downlights - No insulation is to be removed in excess of opening required. This is with the exception of LED downlights not requiring surrounding clearance.

DRAWN May 2024

SHEET No. 1 of 7

PROJECT DETAIL:
New 2 Storey Residence & Garage
at 89 Eighth Avenue
St Peters SA 5069

FOR:
Ms Kim Lau

Site Plan

LIONEL OWEN
DESIGN & CONSULTING

P.O. Box 140
PARA HILLS S.A. 5096
MOBILE: 0409693196
WEB: www.lodac.biz
EMAIL: lionel@lodac.biz

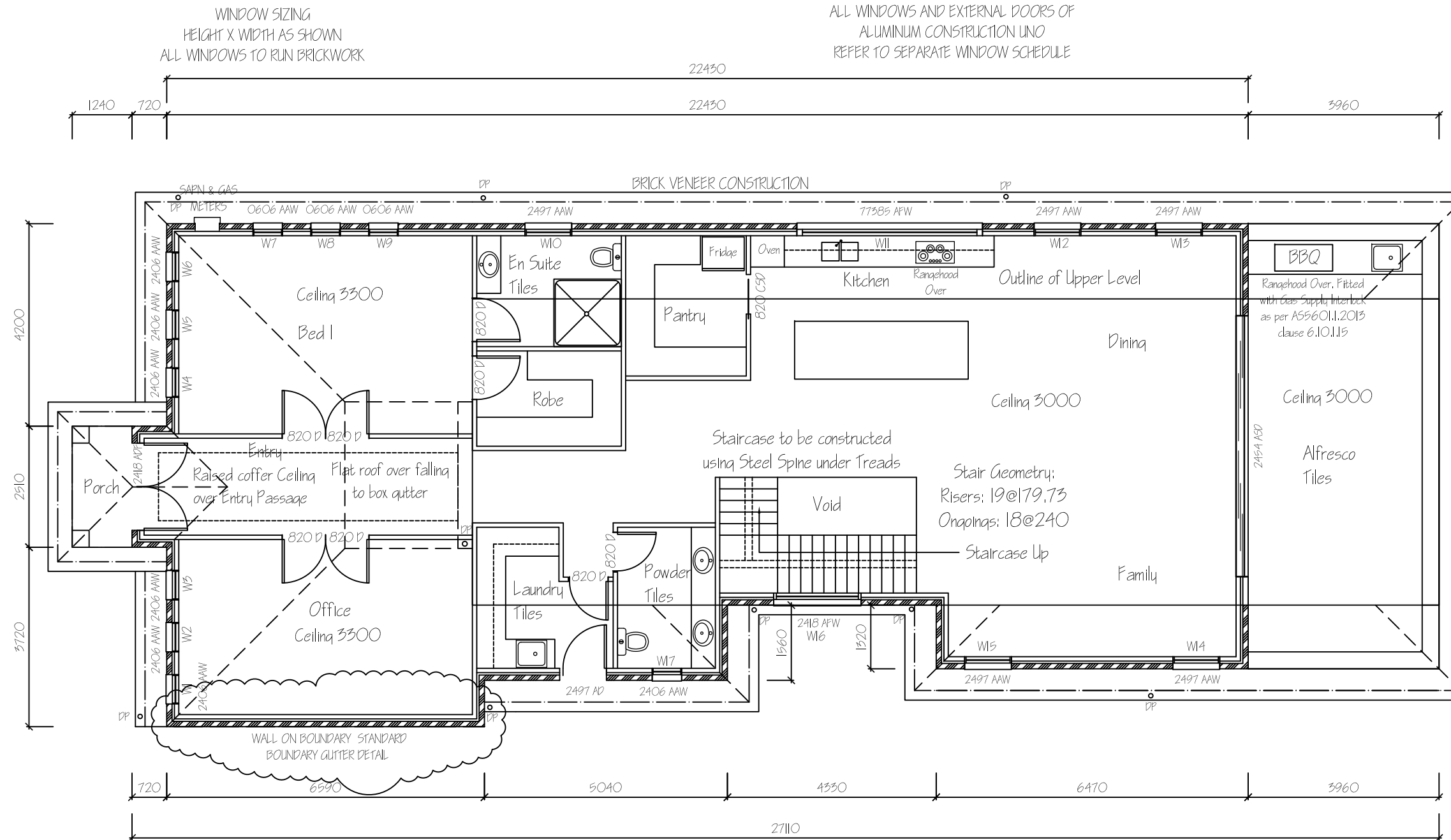
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REVISION 1: JUNE 9TH 2024: ADDED LANDSCAPE PLANT DETAILS AND SCALEBAR
REVISION 2: AUGUST 15TH 2024: ALTERED FLOOR PLAN AND ELEVATIONS
REVISION 3: SEPTEMBER 12TH 2024: ALTERED FLOOR PLAN FOR VARIATION

Attachment 5

NOT FOR CONSTRUCTION - THESE DRAWINGS FOR PLANNING APPROVAL ONLY

DP DOWNPIPE
 DPS DOWNPIPE WITH SPREADER
 RWL RAINWATER HEAD



LOWER FLOOR PLAN SCALE 1:100 ON A3 PAPER

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DRAWN May 2024

SHEET No. 2 of 7

PROJECT DETAIL:
 New 2 Storey Residence & Garage
 at 89 Eighth Avenue
 St Peters SA 5069

FOR:
 Ms Kim Lau

Lower Floor Plan

**LIONEL OWEN
 DESIGN & CONSULTING**

P.O. Box 140
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 MOBILE: 0409693196
 WEB: www.lodac.biz
 EMAIL: lionel@lodac.biz

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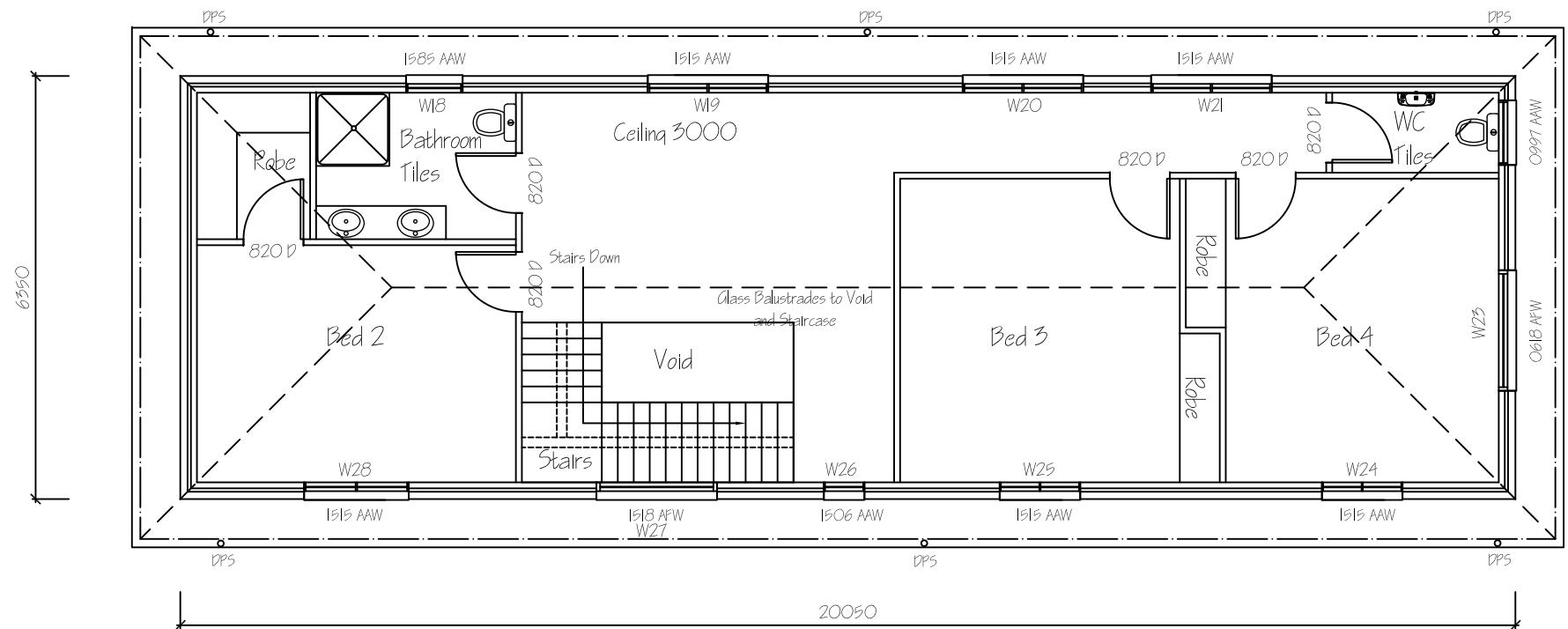
WINDOW SIZING
 HEIGHT X WIDTH AS SHOWN
 ALL WINDOWS TO RUN BRICKWORK

ALL WINDOWS AND EXTERNAL DOORS OF
 ALUMINIUM CONSTRUCTION UNO
 REFER TO SEPARATE WINDOW SCHEDULE

Upper Level is to be constructed using double
 frame and texture coated Harditex

PAINTED RENDERED HARDITEX TO UPPER LEVEL

600mm Hardiflex
 Lined Eaves



UPPER FLOOR PLAN
 SCALE 1:100
 ON A3 PAPER

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DRAWN May 2024

SHEET No. 3 of 7

PROJECT DETAIL:
 New 2 Storey Residence & Garage
 at 89 Eighth Avenue
 St Peters SA 5069

FOR:
 Ms Kim Lau

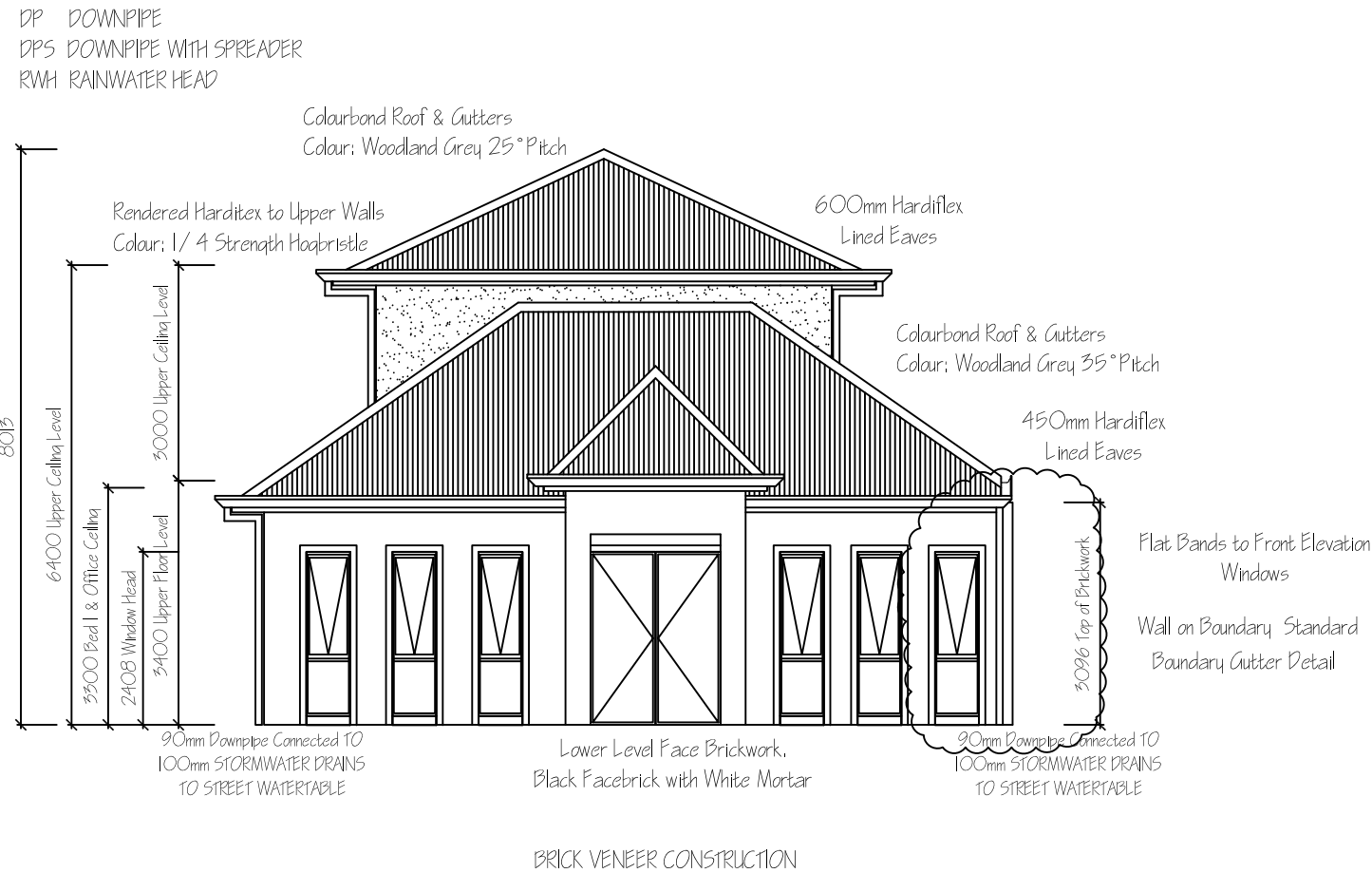
Upper Floor Plan

LIONEL OWEN
 DESIGN & CONSULTING

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 MOBILE: 0409693196
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 EMAIL: lionel@lodac.biz

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NOT FOR CONSTRUCTION - THESE DRAWINGS FOR PLANNING APPROVAL ONLY



FRONT ELEVATION
SCALE 1:100
ON A3 PAPER

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DRAWN May 2024

SHEET No. 4 of 7

PROJECT DETAIL:
New 2 Storey Residence & Garage
at 89 Eighth Avenue
St Peters SA 5069

FOR:
Ms Kim Lau

Front Elevation

**LIONEL OWEN
DESIGN & CONSULTING**

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MOBILE: 0409693196
WEB: www.lodac.biz
EMAIL: lionel@lodac.biz

NOT FOR CONSTRUCTION - THESE DRAWINGS FOR PLANNING APPROVAL ONLY **Attachment 5**

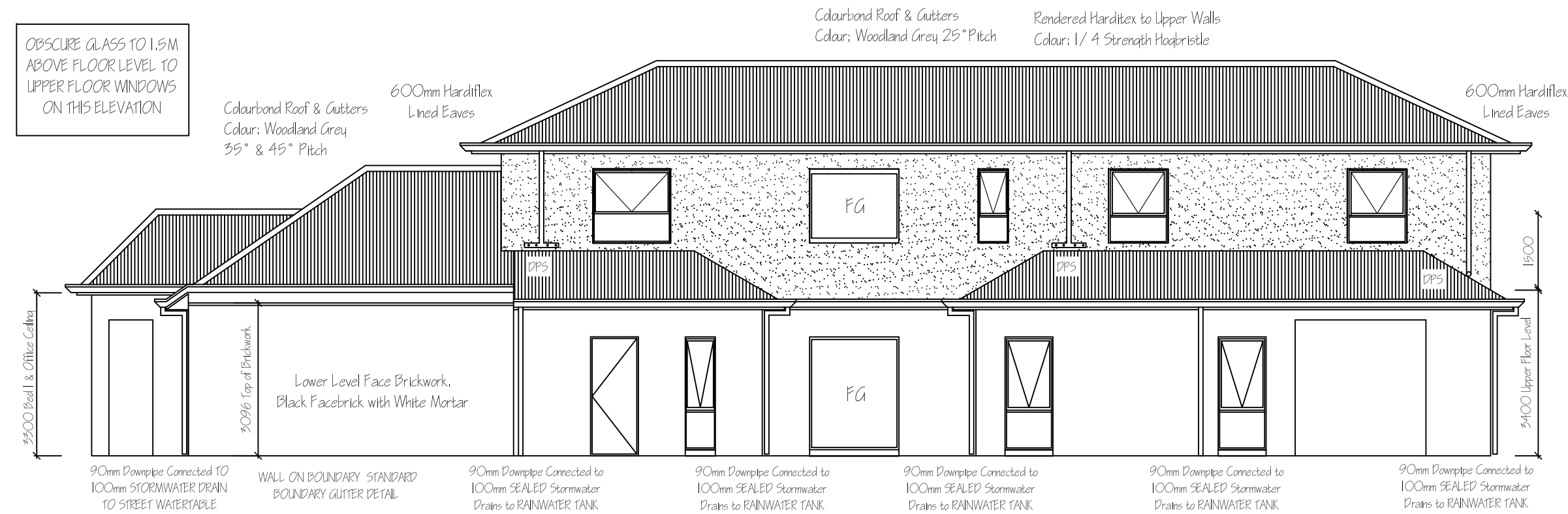
DP DOWNPIPE
DPS DOWNPIPE WITH SPREADER
RWH RAINWATER HEAD

Colourbond Roof & Gutters
Colour: Woodland Grey 25° Pitch
Rendered Harditex to Upper Walls
Colour: 1/4 Strength Hoopbristle

OBSCURE GLASS TO 1.5M
ABOVE FLOOR LEVEL TO
UPPER FLOOR WINDOWS
ON THIS ELEVATION



NORTH EAST ELEVATION



SOUTH WEST ELEVATION

SCALE 1:100
ON A3 PAPER

REVISION 1: JUNE 9TH 2024; ADDED LANDSCAPE PLANT DETAILS AND SCALEBAR
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DRAWN May 2024

SHEET No. 5 of 7

PROJECT DETAIL:
New 2 Storey Residence & Garage
at 89 Eighth Avenue
St Peters SA 5069

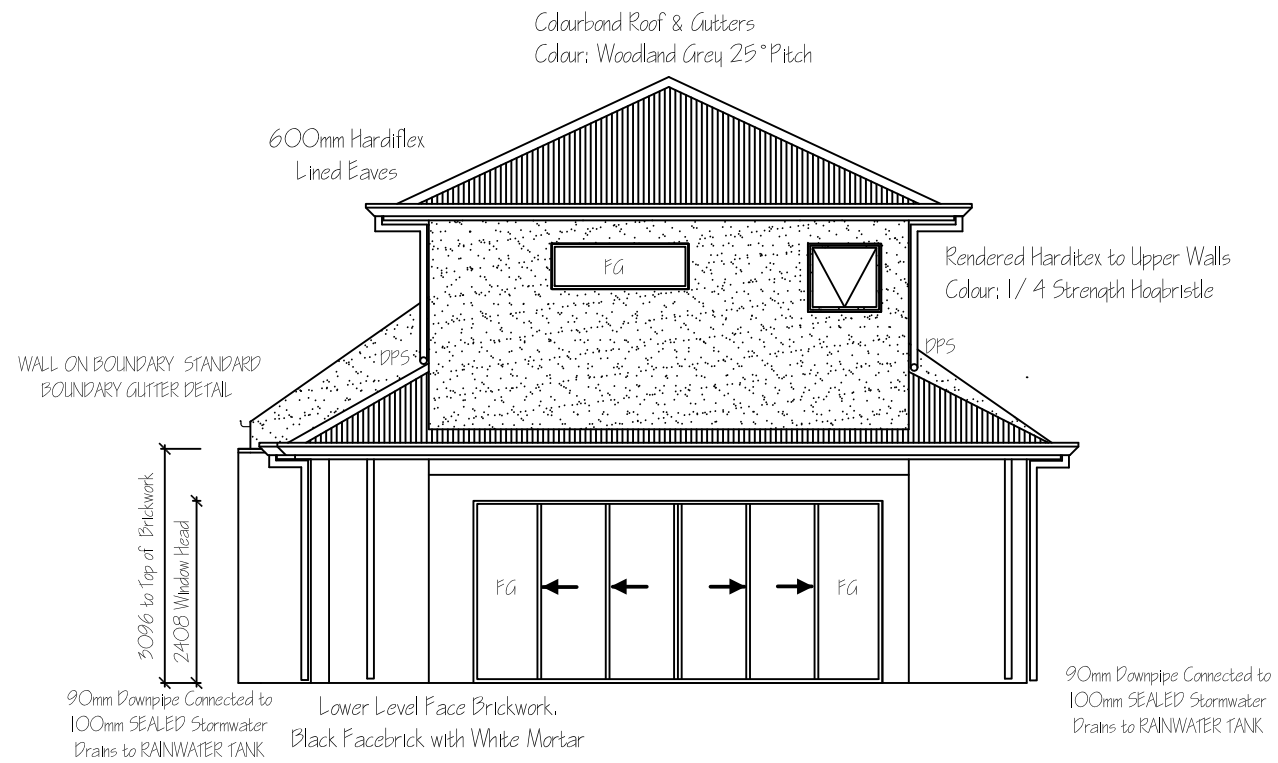
FOR:
Ms Kim Lau

Elevations

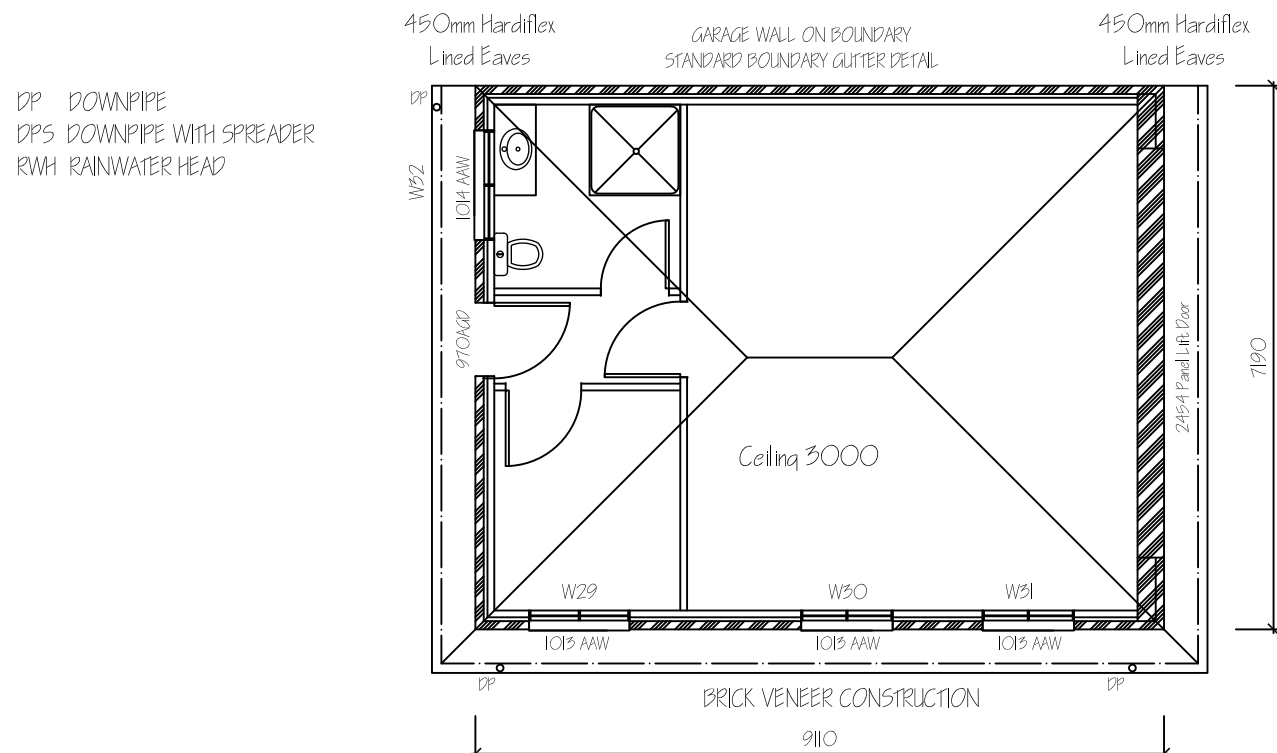
**LIONEL OWEN
DESIGN & CONSULTING**

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MOBILE: 0409693196
WEB: www.lodac.biz
EMAIL: lionel@lodac.biz

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REAR ELEVATION



GARAGE FLOOR PLAN
SCALE 1:100
ON A3 PAPER

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DRAWN May 2024

SHEET No. 6 of 7

PROJECT DETAIL:
New 2 Storey Residence & Garage
at 89 Eighth Avenue
St Peters SA 5069

FOR:
Ms Kim Lau

Rear Elevation & Garage Floor Plan

LIONEL OWEN
DESIGN & CONSULTING

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WEB: www.lodac.biz
EMAIL: lionel@lodac.biz

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DRAWN May 2024

SHEET No. 7 of 7

PROJECT DETAIL:
New 2 Storey Residence & Garage
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St Peters SA 5069

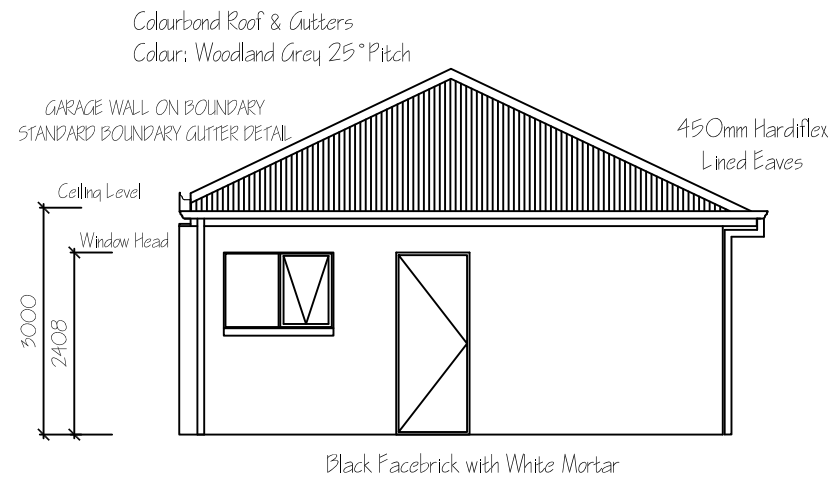
FOR:
Ms Kim Lau

Garage Elevations

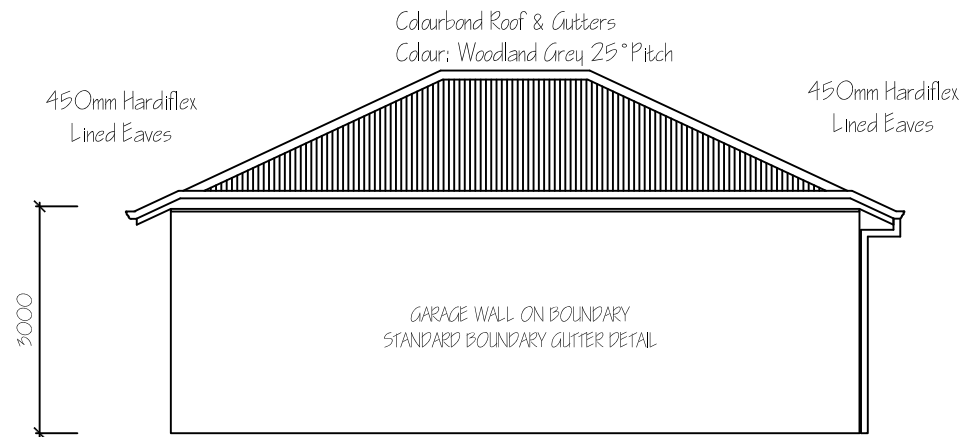
**LIONEL OWEN
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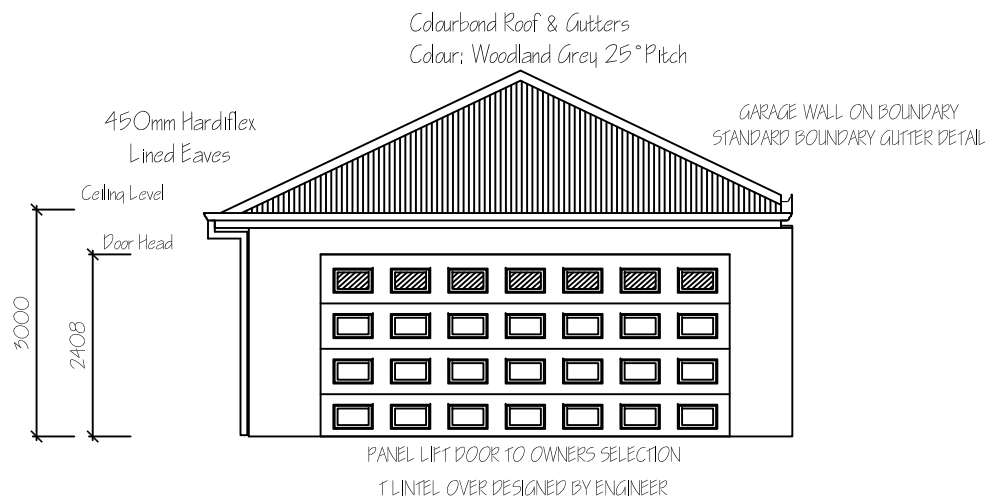
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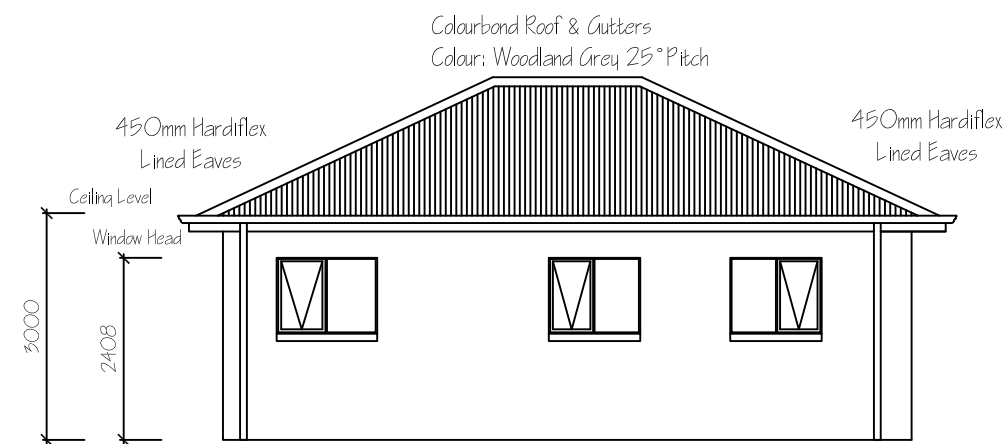
NORTH WEST ELEVATION



NORTH EAST ELEVATION



SOUTH EAST ELEVATION



SOUTH WEST ELEVATION

**GARAGE ELEVATIONS
SCALE 1:100
ON A3 PAPER**

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REVISION 2: AUGUST 15TH 2024; ALTERED FLOOR PLAN AND ELEVATIONS
REVISION 3: SEPTEMBER 12TH 2024; ALTERED FLOOR PLAN FOR VARIATION

Ned Feary

From: Ned Feary
Sent: Friday, 1 November 2024 12:34 PM
To: 'lionel@lodac.biz'
Subject: RE: Variation Request- 89 Eighth Ave, St Peters

Hi Lionel,

I have now completed my assessment of this variation, and have again concluded that I cannot support the proposed boundary wall, because it results in a form that is not consistent with the streetscape character of the area.

Given our previous discussions regarding potential amendments, I gather that there is no way that this can be amended such that I can support it, and you and your clients would also be satisfied. Therefore, I will recommend that the application be refused. This will need to be endorsed by my Manager; there is a chance that he disagrees with my view, in which case I will let you know, but otherwise you will receive an automated email through the portal with the DNF, probably early next week.

If you wish to pursue a review of this decision by the Council Assessment Panel, you can find the relevant forms on the PlanSA website at:
https://plan.sa.gov.au/resources/forms/application_to_assessment_panel_for_review_of_assessment_managers_decision

Please let me know if I can provide any further clarification.

Thanks,
Ned Feary
Senior Urban Planner

City of Norwood Payneham & St Peters
175 The Parade, Norwood SA 5067
Telephone 8366 4531
Email nfeary@npsp.sa.gov.au
Website www.npsp.sa.gov.au

From: Ned Feary
Sent: Tuesday, September 17, 2024 12:35 PM
To: lionel@lodac.biz
Subject: Variation Request- 89 Eighth Ave, St Peters

Hi Lionel,

I have received your variation request to add the boundary wall back in for this DA. This is obviously not a minor variation, and as we have discussed before, I cannot support such a boundary wall for this development.

I will verify the variation as a "variation- not minor", which will send you an automated email and letter. This will also create a draft application in your "drafts" tab on the portal. From there, you can proceed to fill out this application as normal, and it will be appropriately linked in the portal. The only thing to note is that the cost of the development should be the difference in cost between the original proposal, and the "as varied" proposal.

I will then conduct a further assessment of just the boundary wall component, however given how thoroughly this was assessed in the first instance, I doubt that I will come to any conclusion other than to refuse it in that assessment. Therefore, if that variation application is refused, you can proceed to appeal that decision to the Council Assessment Panel or ERD Court as you see fit.

Please let me know if I can provide any further clarification.

Thanks,
Ned Feary
Senior Urban Planner

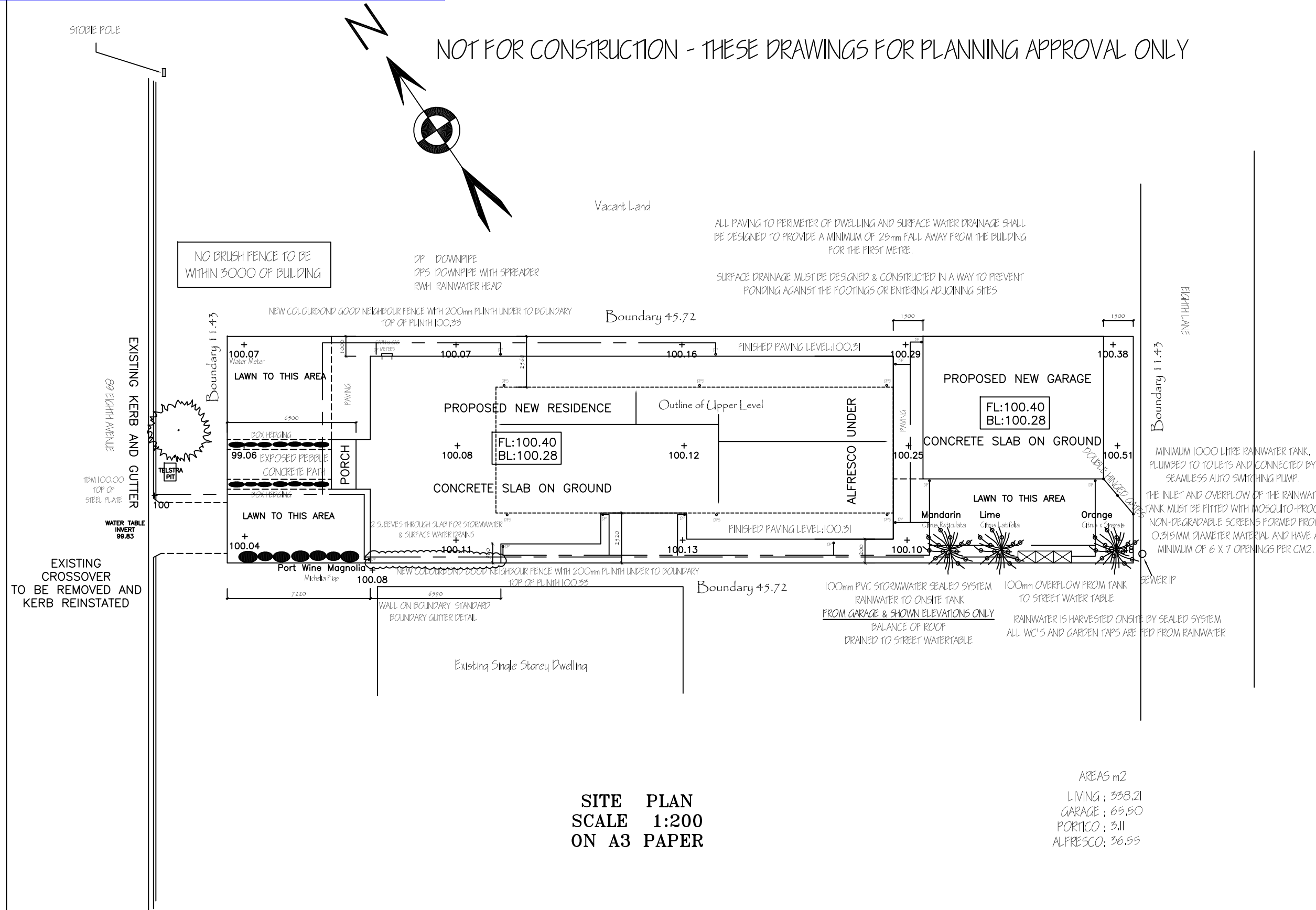
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City of Norwood Payneham & St Peters
175 The Parade, Norwood SA 5067
Telephone 8366 4531
Email nfeary@npsp.sa.gov.au
Website www.npsp.sa.gov.au

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NO BRUSH FENCE TO BE WITHIN 3000 OF BUILDING

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 DPS DOWNPIPE WITH SPREADER
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SURFACE DRAINAGE MUST BE DESIGNED & CONSTRUCTED IN A WAY TO PREVENT PONDING AGAINST THE FOOTINGS OR ENTERING ADJOINING SITES

DRAWN May 2024

SHEET No. 1 of 7

PROJECT DETAIL:
 New 2 Storey Residence & Garage
 at 89 Eighth Avenue
 St Peters SA 5069

FOR:
 Ms Kim Lau

Site Plan

LIONEL OWEN
 DESIGN & CONSULTING

P.O. Box 140
 PARA HILLS S.A. 5096
 MOBILE: 0409693196
 WEB: www.lodac.biz
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SITE PLAN
 SCALE 1:200
 ON A3 PAPER

AREAS m2
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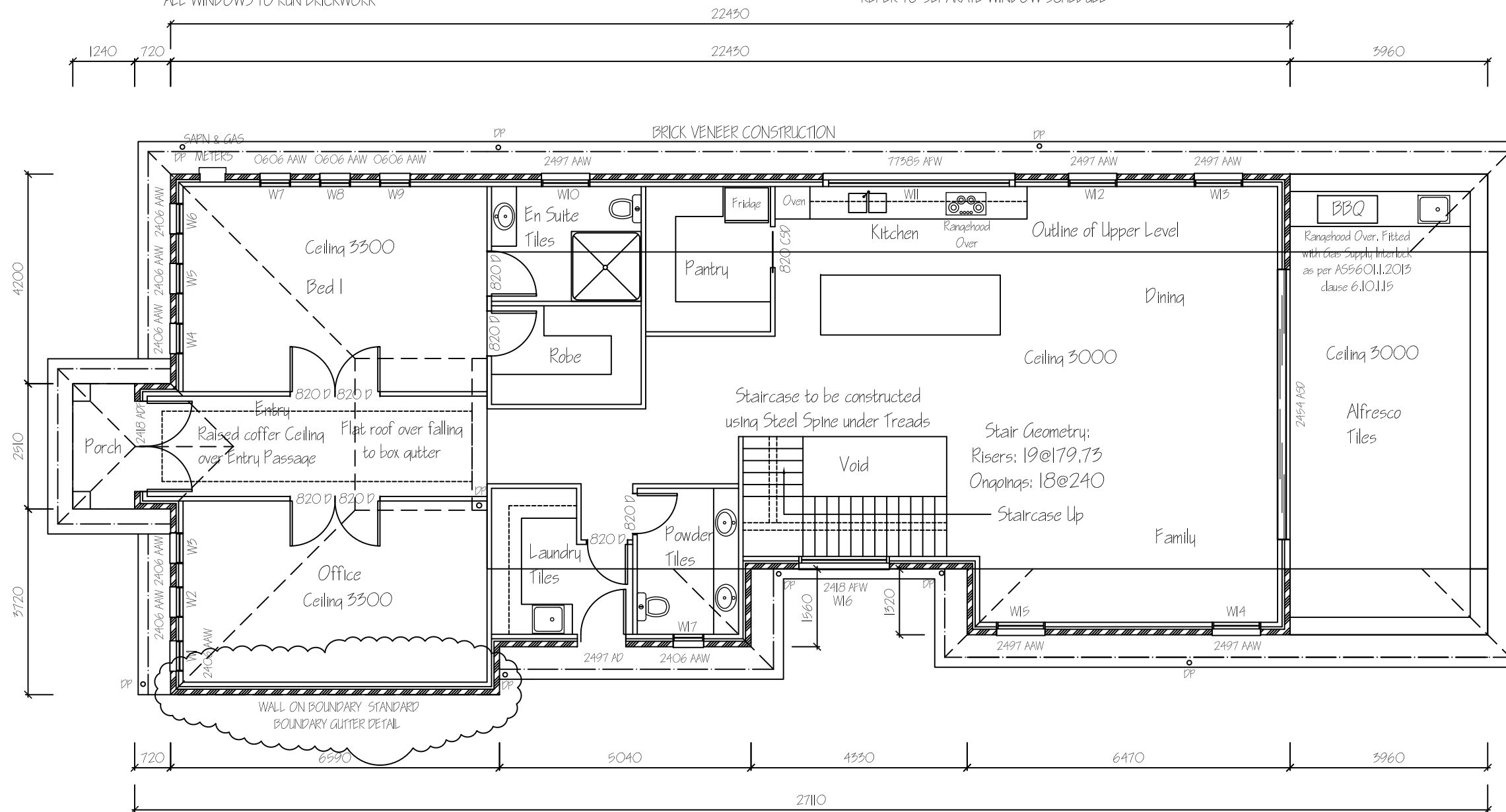
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LOWER FLOOR PLAN
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- Termite risk management to comply with AS3660.1 system selection by owner.
- Waterproofing of Wet Areas to comply with AS 3740 and the additional requirements of SA F1.7
- Masonry and Lintels used in masonry shall comply with AS3700. All wall ties shall be fixed with screws.
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- All manufactured products must be installed in accordance with manufacturers specifications and requirements.
- Energy efficiency rating as per FirstRate5 assessment to achieve 6 Star Rating as a minimum.
- All Downlights - No insulation is to be removed in excess of opening required. This is with the exception of LED downlights not requiring surrounding clearance.

DRAWN May 2024

SHEET No. 2 of 7

PROJECT DETAIL:
 New 2 Storey Residence & Garage
 at 89 Eighth Avenue
 St Peters SA 5069

FOR:
 Ms Kim Lau

Lower Floor Plan

LIONEL OWEN
 DESIGN & CONSULTING

P.O. Box 140
 PARA HILLS S.A. 5096
 MOBILE: 0409693196
 WEB: www.lodac.biz
 EMAIL: lionel@lodac.biz

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NOT FOR CONSTRUCTION - THESE DRAWINGS FOR PLANNING APPROVAL ONLY

DP DOWNPIPE
 DPS DOWNPIPE WITH SPREADER
 RWL RAINWATER HEAD

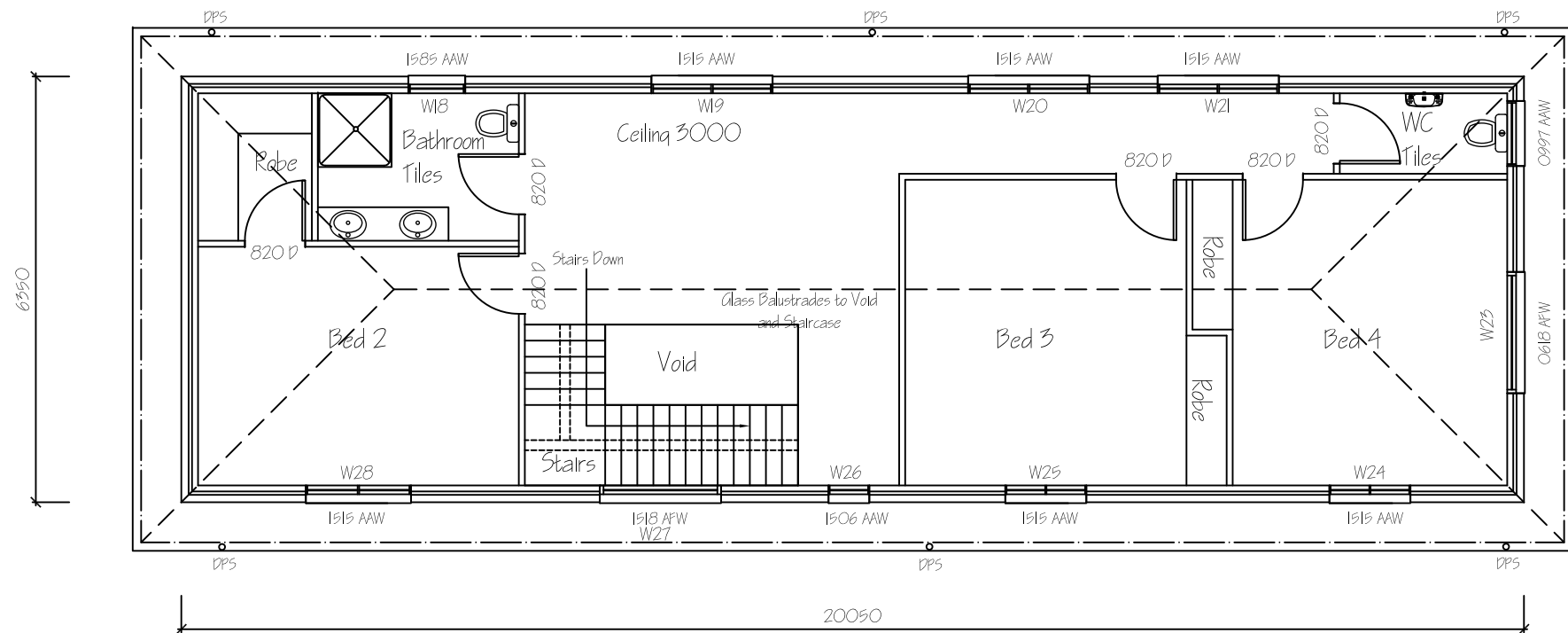
WINDOW SIZING
 HEIGHT X WIDTH AS SHOWN
 ALL WINDOWS TO RUN BRICKWORK

ALL WINDOWS AND EXTERNAL DOORS OF
 ALUMINIUM CONSTRUCTION UNO
 REFER TO SEPARATE WINDOW SCHEDULE

Upper Level is to be constructed using double
 frame and texture coated Harditex

PAINTED RENDERED HARDITEX TO UPPER LEVEL

600mm Harditex
 Lined Eaves



UPPER FLOOR PLAN
 SCALE 1:100
 ON A3 PAPER

REVISION 1: JUNE 9TH 2024; ADDED LANDSCAPE PLANT DETAILS AND SCALEBAR
 REVISION 2: AUGUST 15TH 2024; ALTERED FLOOR PLAN AND ELEVATIONS
 REVISION 3: SEPTEMBER 12TH 2024; ALTERED FLOOR PLAN FOR VARIATION

NOTES:

- Do not scale off this drawing.
- Contractors to verify all dimensions and levels on site before commencing construction.
- All written dimensions take preference over scale.
- Footings and slabs to comply with AS2870 or engineers specification.
- All timber framing to comply with AS1684.2.2010
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DRAWN May 2024

SHEET No. 3 of 7

PROJECT DETAIL:
 New 2 Storey Residence & Garage
 at 89 Eighth Avenue
 St Peters SA 5069

FOR:
 Ms Kim Lau

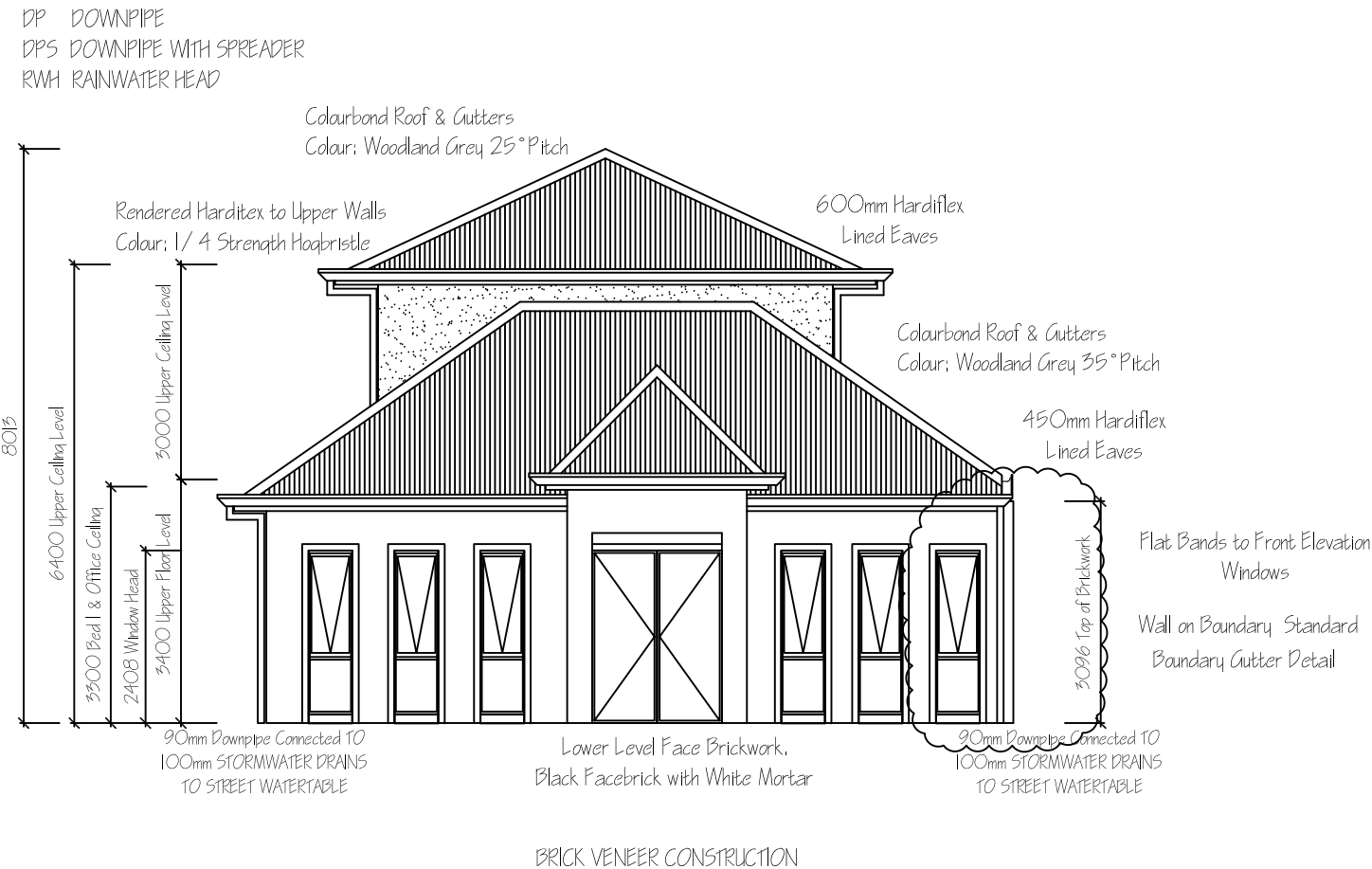
Upper Floor Plan

LIONEL OWEN
 DESIGN & CONSULTING

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FRONT ELEVATION
 SCALE 1:100
 ON A3 PAPER

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DRAWN May 2024

SHEET No. 4 of 7

PROJECT DETAIL:
 New 2 Storey Residence & Garage
 at 89 Eighth Avenue
 St Peters SA 5069

FOR:
 Ms Kim Lau

Front Elevation

LIONEL OWEN
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DP DOWNPIPE
 DPS DOWNPIPE WITH SPREADER
 RWH RAINWATER HEAD

Colourbond Roof & Gutters
 Colour: Woodland Grey 25° Pitch
 Rendered Harditex to Upper Walls
 Colour: 1/4 Strength Hoopbristle

OBSCURE GLASS TO 1.5M
 ABOVE FLOOR LEVEL TO
 UPPER FLOOR WINDOWS
 ON THIS ELEVATION



NORTH EAST ELEVATION



SOUTH WEST ELEVATION

SCALE 1:100
 ON A3 PAPER

REVISION 1: JUNE 9TH 2024; ADDED LANDSCAPE PLANT DETAILS AND SCALEBAR
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DRAWN May 2024

SHEET No. 5 of 7

PROJECT DETAIL:
 New 2 Storey Residence & Garage
 at 89 Eighth Avenue
 St Peters SA 5069

FOR:
 Ms Kim Lau

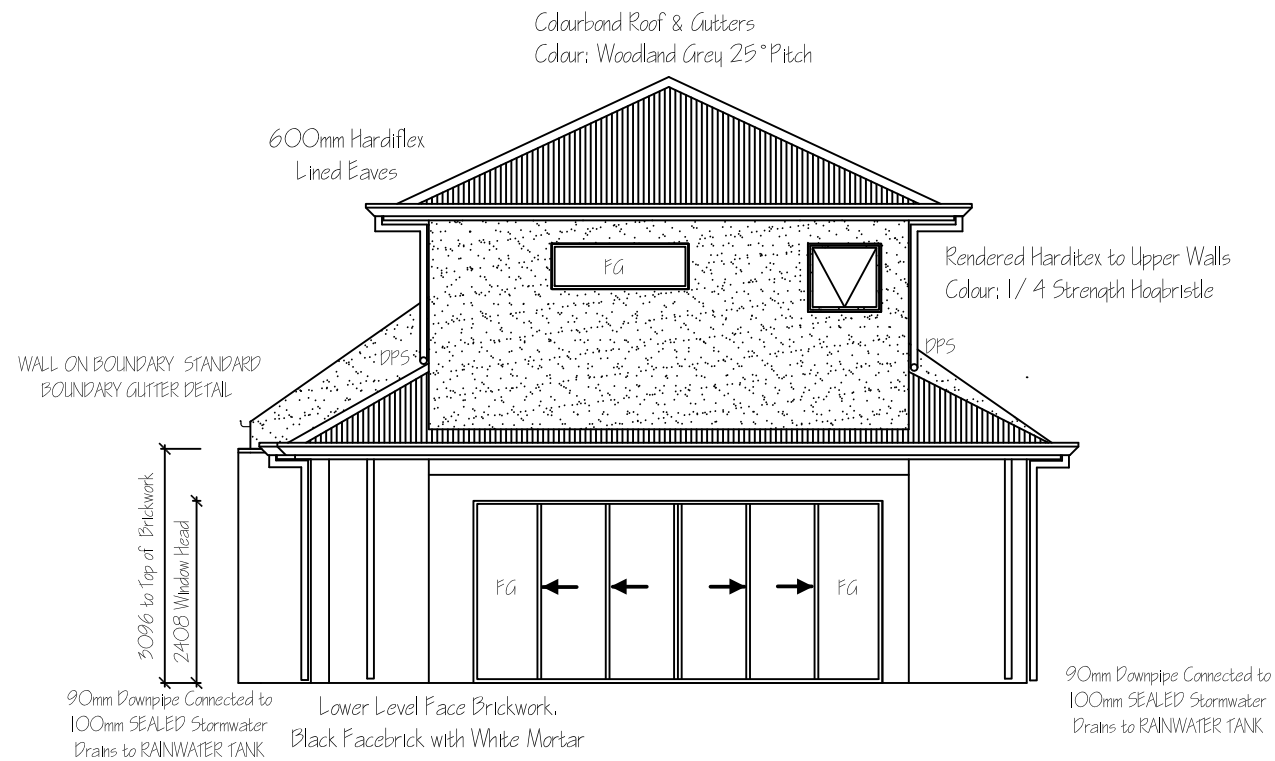
Elevations

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 DESIGN & CONSULTING

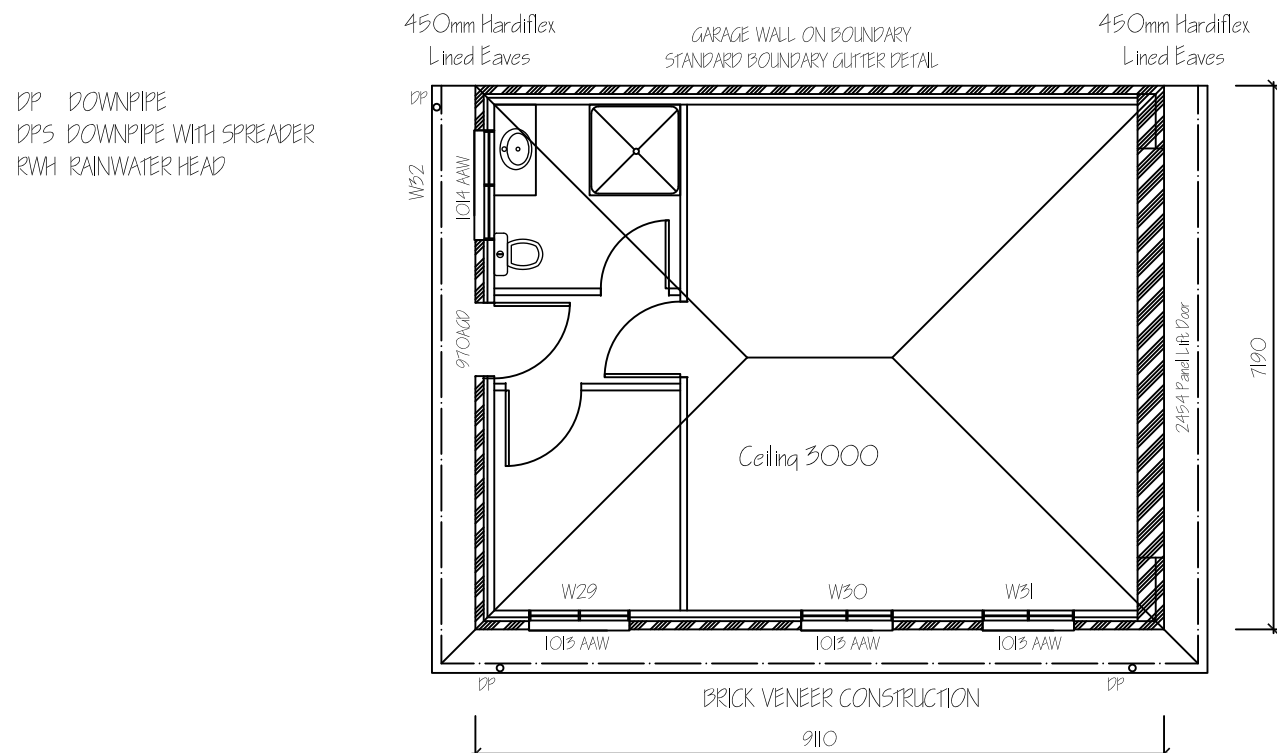
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Attachment 5



REAR ELEVATION



GARAGE FLOOR PLAN
 SCALE 1:100
 ON A3 PAPER

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DRAWN May 2024

SHEET No. 6 of 7

PROJECT DETAIL:
 New 2 Storey Residence & Garage
 at 89 Eighth Avenue
 St Peters SA 5069

FOR:
 Ms Kim Lau

Rear Elevation & Garage Floor Plan

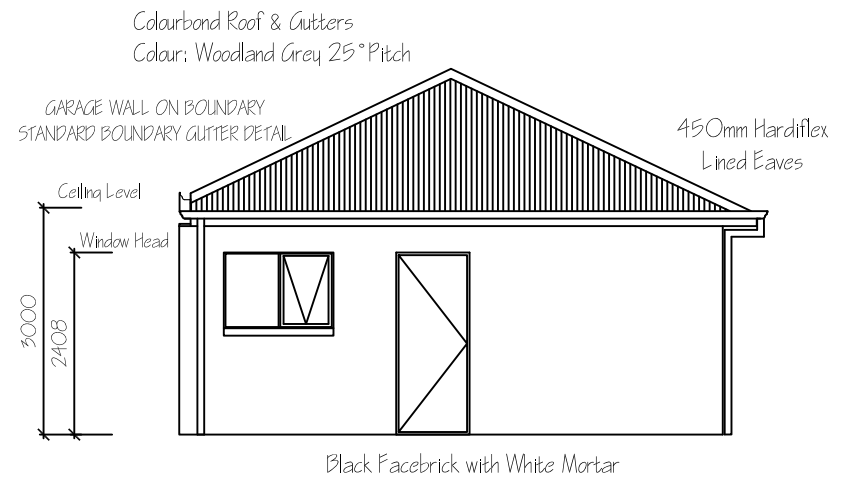
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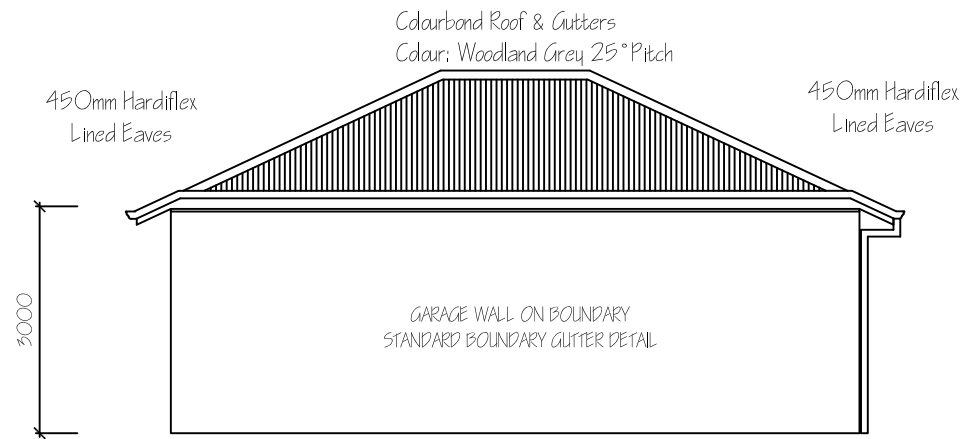
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NOTES:

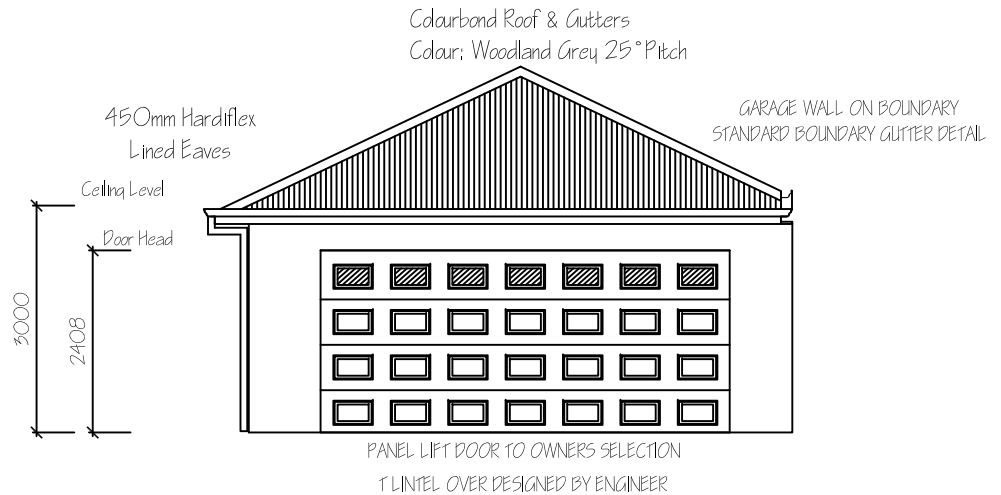
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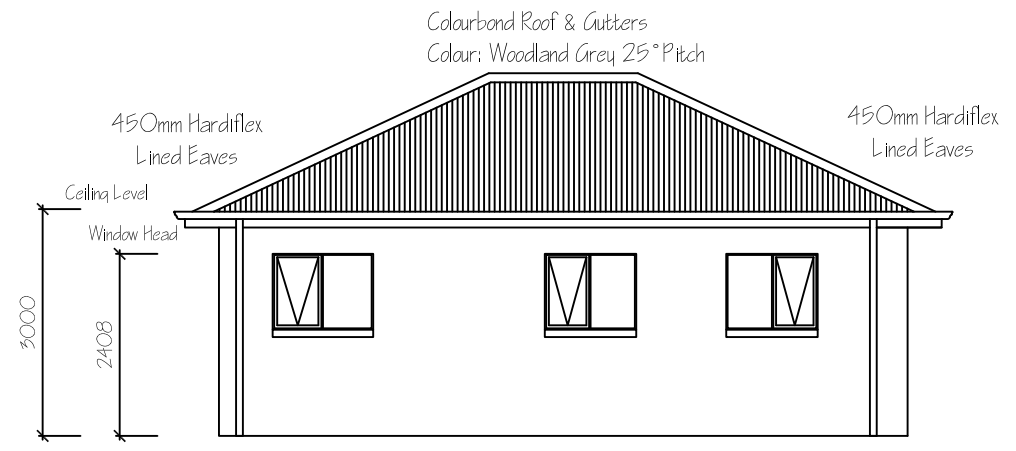
NORTH WEST ELEVATION



NORTH EAST ELEVATION



SOUTH EAST ELEVATION



SOUTH WEST ELEVATION

**GARAGE ELEVATIONS
 SCALE 1:100
 ON A3 PAPER**

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DRAWN May 2024

SHEET No. 7 of 7

PROJECT DETAIL:
 New 2 Storey Residence & Garage
 at 89 Eighth Avenue
 St Peters SA 5069

FOR:
 Ms Kim Lau

Garage Elevations

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8. **ERD COURT APPEALS**
9. **OTHER BUSINESS**
(Of an urgent nature only)
10. **CONFIDENTIAL REPORTS**
11. **CLOSURE**